

GENERAL NOTES

- MEDIAN LANDSCAPE SHALL BE ON A SEPARATE SET OF PLANS FROM THE ONSITE LANDSCAPE PLANS. MEDIAN LANDSCAPE PLANS ARE TO BE SUBMITTED TO LANDSCAPE SERVICES NOT PLANNING. WHEN READY TO SUBMIT, PLEASE CONTACT DAN MONTO 951-413-3480 OR AT SDLANDSCAPE@MOVAL.ORG.
- MVU WILL PROVIDE ELECTRICAL SERVICE TO THIS PROJECT FROM VAULT V1334. THERE ARE EXISTING CONDUIT STUBS LOCATED AT THE NORTHWEST CORNER OF ALESSANDRO BOULEVARD AND LESSALLE STREET.
- THE DEVELOPER FOR THIS PROJECT WILL BE REQUIRED TO MAKE A REIMBURSEMENT PAYMENT TO THE CITY IN THE AMOUNT OF \$68,558.18 FOR INFRASTRUCTURE INSTALLED BY THE CITY ALONG THE ALESSANDRO BOULEVARD PROJECT FRONTAGE OF THIS PROJECT. \$68,558.18 = \$206.19/LF X 665 LF X 50 %.
- ONSITE ELECTRICAL EASEMENTS WILL BE REQUIRED IN ORDER FOR MVU TO ACCESS, OPERATE, MAINTAIN, AND REPAIR PRIMARY ELECTRICAL INFRASTRUCTURE LOCATED WITH THE SITE.
- THE PROJECT APPLICANT SHALL DEVELOP AND SUBMIT A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) TO THE STATE WATER RESOURCES CONTROL BOARD, IN ACCORDANCE WITH THE STATEWIDE CONSTRUCTION GENERAL PERMIT. PROOF OF AN ACTIVE WASTE DISCHARGE IDENTIFICATION NUMBER (WDID) MUST BE PROVIDED TO THE CITY PRIOR TO ISSUANCE OF ANY PERMITS.
- THE APPLICANT SHALL IMPLEMENT GOOD HOUSEKEEPING BEST MANAGEMENT PRACTICES (BMPs) FOR THE SITE TO ENSURE THAT POLLUTANTS ARE NOT DISCHARGED TO THE MUNICIPAL STORM DRAIN SYSTEM DURING CONSTRUCTION AND POST CONSTRUCTION.
- PROJECT SUBJECT TO PROVIDING AN ONGOING FUNDING SOURCE FOR CERTAIN CITY PROGRAMS/SERVICES IMPACTED BY THE DEVELOPMENT. THESE COA'S CAN BE SATISFIED BY ANNEXING INTO CERTAIN SPECIAL FINANCING DISTRICTS.
- LANDSCAPE CONSTRUCTION COORDINATION, IF PUBLIC LANDSCAPING IS REQUIRED THE DEVELOPER WILL COORDINATE THE CONSTRUCTION OF THE LANDSCAPE IMPROVEMENTS WITH LANDSCAPE SERVICES.
- BICYCLE PARKING SPACES SHALL BE PROVIDED IN ALL COMMERCIAL AND OFFICE DISTRICTS EQUAL TO FIVER PERCENT OF THE REQUIRED AUTOMOBILE PARKING SPACES. WITH A MINIMUM OF TWO BICYCLE PARKING STALLS REQUIRED.
- SIGHT DISTANCE AT THE PROPOSED DRIVEWAYS SHALL CONFORM TO CITY OF MORENO VALLEY STANDARD NO. MVSI-164A-0, MVSI-164B-0, AND MVSI-164C-0.
- SINGLE DIRECTION FIRE ACCESS ROAD SHALL BE A MINIMUM 20FT WIDE. PLEASE PROVIDE PLAN FOR FIRE DEPARTMENT ACCESS ROADS. FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN TWENTY-FOUR (24) FEET AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THEN THIRTEEN (13) FEET SIX (6) INCHES. (CFC 503.2.1 AND MVMC 8.36.060[E]).
- BIORETENTION BASIN MAINTENANCE, THE ONGOING MAINTENANCE OF ANY BIORETENTION BASIN, OR OTHER LIKE WATER QUALITY BMP CONSTRUCTED IN THE PUBLIC RIGHT OF WAY, SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER ASSOCIATION OR THE PROPERTY OWNER.
- CLEAR AIR VEHICLE PARKING AND FUTURE EV PARKING THAT SHALL COMPLY WITH CALIFORNIA GREEN CODE - 5.106. PLANS SHOULD DETAIL THE LOCATION, PROVIDE THE MINIMUM # OF REQUIRED PARKING SPACES, AND SHALL BE DESIGNED TO THE CORRECT WIDTHS AND LENGTHS. A PERCENTAGE OF FUTURE EVCS PARKING SHALL BE DESIGNED FOR ACCESSIBLE COMPLIANCE IN ACCORDANCE WITH CBC - 11B SECTION 228.3 AND SECTION 812 REQUIREMENTS.
- OFF-STREET PARKING REQUIREMENTS PER MUNICIPAL CODE SECTION 9.11.040.
- THE TRASH ENCLOSURE DESIGN SHALL: A) PROVIDE A MINIMUM PLANTER DIMENSION OF THREE FEET ON THREE SIDES OF THE ENCLOSURE WALLS, AND ACCOMMODATE CLIMBING VINES AND SCREENING SHRUBS WITHIN THE PLANTER AREA. B) WHEN THERE IS A PARKING SPACE ADJACENT TO A TRASH ENCLOSURE A 5 FOOT LANDSCAPE AREA SHALL BE PROVIDED.
- END PARKING SPACES ARE REQUIRED TO HAVE 5 FEET OF LANDSCAPE AREA.
- IN ALL COMMERCIAL DISTRICTS, REQUIRED BUILDING SETBACK AREAS SHALL BE LANDSCAPED. IF THERE ARE BIO RETENTION/WQMP AREAS IN THE SETBACK AREA THE MUST BE LANDSCAPED PER THE CITY'S LANDSCAPE STANDARDS, IF THE BIO RETENTION/WQMP AREA ARE UNABLE TO BE PLANTED WITH LANDSCAPING THAT MEETS THE LANDSCAPE STANDARDS, THE BIO RETENTION AREAS NEED TO BE MOVED OUT OF THE SETBACK AREAS.
- TREES MAY NOT BE PLANTED OUT IN THE PUBLIC RIGHT OF WAY. REQUIRED STREET TREES SHALL BE PLANTED ON PRIVATE PROPERTY.
- SIGNS ARE NOT PART OF THIS REVIEW.
- ALL EXISTING AND PROPOSED WALLS, FENCES, GATES, UNDER SEPERATE PERMIT.
- ANY DRIVE-UP OR DRIVE-THROUGH SPEAK SYSTEM SHALL NOT BE DETECTABLE ABOVE DAYTIME AMBIENT NOISE LEVELS BEYOND THE PROPERTY BOUNDARIES. THE SYSTEM SHALL BE DESIGNED TO COMPENSATE FOR AMBIENT NOISE LEVELS IN THE IMMEDIATE AREA, AND SHALL NOT BE LOCATED WITHIN ONE HUNDRED (100) FEET OF ANY RESIDENTIAL DISTRICT OF ANY PROPERTY USED FOR RESIDENTIAL USES.
- LIGHTING PHOTOMETRIC PLAN IS NOT PART OF THIS REVIEW. SITE LIGHTING UNDER SEPARATE PERMIT. PARKING LOT LIGHTING SHALL COMPLY WITH SECTION 9.08.10 LIGHTING OF THE MUNICIPAL CODE. THE LIGHTING LEVEL FOR ALL PARKING LOTS OR STRUCTURES SHALL BE A MINIMUM COVERAGE OF ONE FOOT-CANDLE OF LIGHT WITH A MAXIMUM OF EIGHT FOOT-CANDELS.
- AN ACCESSIBLE ROUTE SHALL BE PROVIDED TO INTERCONNECT ALL BUILDINGS ON THE SITE. SITE PLANS SHALL BE AMENDED TO SHOW LOCATION OF THE PEDESTRIAN ACCESSIBLE ROUTE BETWEEN ALL BUILDINGS ON THE SITE. CBC 11B-206.2.2 WITHIN A SITE AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE.
- COMMUNICATION CONDUIT ALONG PROJECT FRONTAGE SHALL BE REQUIRED PER CITY STANDARD PLAN NO. MVSI-186-0.
- SIGHT DISTANCE AT THE PROPOSED DRIVEWAYS SHALL CONFORM TO CITY OF MORENO VALLEY STANDARD NO. MVSI-165A-0, MVSI-154B-0, AND MVSI-164C-0 AT THE TIME OF PREPARATION OF FINAL GRADING, LANDSCAPE, AND STREET IMPROVEMENT PLANS.
- ALESSANDRO BOULEVARD IS DESIGNATED AS A 6-LANE DIVIDED ARTERIAL PER CITY STANDARD PLAN NO. MVSI-101A-0. PER THE GENERAL PLAN, A RAISED LANDSCAPE MEDIAN IS PLANNED ALONG THE PROJECT FRONTAGE ON ALESSANDRO BOULEVARD AND THIS PROJECT WILL BE REQUIRED TO CONSTRUCT THE RAISED MEDIAN TO RESTRICT LEFT-TURN IN/OUT MOVEMENTS AT THE PROJECT DRIVEWAYS ON ALESSANDRO BOULEVARD. MEDIAN SHALL EXTEND AT LEAST 200 FEET BEYOND THE LIMITS OF ANY PROJECT DRIVEWAY. ANY OTHER IMPROVEMENTS UNDERTAKEN BY THIS PROJECT SHALL BE CONSISTENT WITH THE CITY'S STANDARDS FOR THIS FACILITY OR AS APPROVED BY THE CITY ENGINEER.
- LASSELLE STREET IS CLASSIFIED AS AN ARTERIAL PER CITY STANDARD PLAN NO. MVSI-104A-0. ANY IMPROVEMENTS UNDERTAKEN BY THIS PROJECT SHALL BE CONSISTENT WITH THE CITY'S STANDARDS FOR THIS FACILITY.
- TRANSFORMER CABINETS AND COMMERCIAL GAS METERS SHALL NOT BE LOCATED WITHIN REQUIRED SETBACKS AND SHALL BE SCREENED FROM PUBLIC VIEW EITHER BY ARCHITECTURAL TREATMENT OR WITH LANDSCAPING; MULTIPLE ELECTRICAL METERS SHALL BE FULLY ENCLOSED AND INCORPORATED INTO THE OVERALL ARCHITECTURAL DESIGN OF THE BUILDING(S); BACK-FLOW PREVENTERS SHALL BE SCREENED BY LANDSCAPING THAT WILL PROVIDE COMPLETE SCREENING UPON MATURITY.



NORTHWEST COMMERCIAL CENTER

W/ NORTHWEST MORENO PROPERTIES, LLC

PROJECT OWNER / APPLICANT

DANNY SINGH
3017 E. EDINGER AVE.
TUSTIN, CA 92780
CELL PHONE: (949) 630-5345
E-MAIL: danny Singh@gmail.com

DAVE BHATIA
3017 E. EDINGER AVE.
TUSTIN, CA 92780
CELL PHONE: (714) 267-3290
E-MAIL: dbhatia2006@yahoo.com

ARCHITECT / EXHIBIT PREPARER

EMPIRE DESIGN GROUP, INC.
511 N MAIN STREET
LAKE ELSINORE, CA 92530
PHONE: (951) 696-1490
CELL PHONE: (951) 809-7601
E-MAIL: ghann@empiregr.biz
CONTACT: GREGORY HANN, ARCHITECT

PROJECT DIRECTORY

COMMUNITY DEVELOPMENT: PLANNING DIVISION
14177 FREDERICK STREET
MORENO VALLEY, CA 92553
TEL: 951-413-3206
EMAIL: gabrield@moval.org
CONTACT: GABRIEL DIAZ - ASSOC. PLANNER

COMMUNITY DEVELOPMENT: BUILDING & SAFETY DIVISION
14177 FREDERICK STREET
MORENO VALLEY, CA 92553
TEL: 951-413-3550

PUBLIC WORKS: LAND DEVELOPMENT
14177 FREDERICK STREET
MORENO VALLEY, CA 92553
TEL: 951-413-3120
EMAIL: landdevelopment@moval.org

FIRE DEPARTMENT: MORENO VALLEY FIRE DEPARTMENT
36275 AVENIDA DE ACACIAS
TEMECULA, CA 92592
PHONE: 951-676-5688
E-MAIL: RobertTaft@a.com
CONTACT: ROBERT TAFT

POLICE DEPARTMENT: MORENO VALLEY POLICE DEPARTMENT
14177 FREDERICK STREET
MORENO VALLEY, CA 92553
TEL: 951-486-6700
CONTACT: DAVID KURYLOWICZ - CHIEF OF POLICE

SCHOOL DISTRICT: MORENO VALLEY UNIFIED
25634 ALESSANDRO BLVD.
MORENO VALLEY, CA 92553
TEL: 951-571-7500

POWER: MORENO VALLEY ELECTRIC UTILITY
14331 FREDERICK STREET SIE 2
MORENO VALLEY, CA 92553
TEL: 844-341-6469
EMAIL: mvutility@trific.com

GAS: SOCAL GAS COMPANY
TEL: 800-427-2200

WATER/SEWER: EASTERN MUNICIPAL WATER DISTRICT
2270 TRUMBLE ROAD
PERRIS, CA 92570
TEL: 951-928-3777
FAX: 951-928-6177

WASTE: WASTE MANAGEMENT INLAND EMPIRE
TEL: 800-423-9986

TELEPHONE/CABLE: AT&T / SPECTRUM / FRONTIER

PROJECT TEAM

ARCHITECT: EMPIRE DESIGN GROUP, INC.
PO BOX 944
MURRIETA, CA 92564
PHONE: 951-696-1490
FAX: 951-696-1443
CELL PHONE: 951-809-7601
E-MAIL: ghann@empiregr.biz
CONTACT: GREGORY HANN, ARCHITECT

CIVIL / WQMP / HYDROLOGY: PLUM ENGINEERING, INC.
914 E. KATELLA AVE.
ANAHEIM, CA 92805
PHONE: 714-385-1835 EXT. 110
FAX: 714-385-1834
CELL PHONE: 714-357-7323
E-MAIL: troy@peica.com
CONTACT: TROY TRYFONOPOULOS, P.E.

LANDSCAPE: ROBERT TAFT & ASSOCIATES
36275 AVENIDA DE ACACIAS
TEMECULA, CA 92592
PHONE: 951-676-5688
E-MAIL: RobertTaft@a.com
CONTACT: ROBERT TAFT

CEGA: MATTHEW FAGAN CONSULTING SERVICES
42011 AVENIDA VISTA LADERA
TEMECULA, CA 92591
PHONE: 951-265-5428
E-MAIL: matthewfagan@roadrunner.com
CONTACT: MATTHEW FAGAN

AIR QUALITY/GREEN HOUSE / NOISE IMPACT ANALYSIS: URBAN CROSSROADS
260 E. BAKER STREET, SUITE 200
COSTA MESA, CA 92626
PHONE: 949-660-1994
E-MAIL: hqureshi@urbanroads.com
CONTACT: HASEEB QURESHI

BIOLOGICAL / MSHCP: KELLY RIOS
770 S. BREA BLVD. SUITE 215
BREA, CA 92821
PHONE: 714-742-5380

CULTURAL RESOURCES: COGSTONE
1518 WEST TAFT AVENUE
ORANGE, CA 92665
PHONE: 714-974-8300
CONTACT: MEGAN WILSON

ENERGY ANALYSIS/UTILITIES AND SERVICE SYSTEM STUDY: RINCON CONSULTANTS, INC.
301 9TH STREET, SUITE 109
REDLANDS, CA 92374
PHONE: 909-312-2938
E-MAIL: cholcombe@rinconconsultants.com
CONTACT: CHARLES HOLCOMBE

GEOTECHNICAL / PHASE I ENVIRONMENTAL: EARTH STRATA GEOTECHNICAL SERVICES, INC.
4218 REMINGTON AVENUE
TEMECULA, CA 92590
CELL PHONE: 951-536-5081
E-MAIL: gadalla@earth-strata.com
CONTACT: GADALLA GADALLA "GUGU"

PALEONTOLOGY / PHASE I ARCHAEOLOGY: BRIAN F. SMITH AND ASSOCIATES, INC.
14010 POWAY ROAD, SUITE A
POWAY, CA 92064
PHONE: 858-484-0915
CELL PHONE: 858-688-4034
E-MAIL: bsmith@bfsa-ca.com
CONTACT: BRIAN SMITH

TRAFFIC IMPACT STUDY: K2 TRAFFIC ENGINEERING, INC.
1442 IRVINE BLVD. SUITE 210
TUSTIN, CA 92780
PHONE: 714-832-2116
E-MAIL: khsu@k2traffic.com
CONTACT: JENDE KAY HSU

PHOTOMETRIC PLAN: CREE LIGHTING
9201 WASHINGTON AVE.
RACINE, WI 53406
PHONE: 714-812-8182
E-MAIL: jay@bostonmcdermott.com
CONTACT: JAY BOSTON

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SCOPE OF WORK

- PROPOSED 3,825 S.F. CONVENIENCE STORE, WITH AN ATTACHED 1,600 S.F. QUICK SERVE RESTAURANT.
- PROPOSED 5,640 S.F. 8 MPD FUELING CANOPY.
- PROPOSED 110' LONG 3,850 S.F. EXPRESS CAR WASH.
- PROPOSED (2) 3,320 S.F. DRIVE-THRU RESTAURANTS WITH ATTACHED (2) 1,600 S.F. RETAIL SUITES. TOTALING 6,640 S.F. DRIVE-THRU AND 3,200 S.F. RETAIL.
- PROPOSED 5,500 S.F. SIT DOWN DINNING RESTAURANT WITH ASSOCIATED 1,750 S.F. PATIO SEATING.
- PROPOSED 3,375 S.F. BANK.
- PROPOSED (2) 4,950 S.F. OFFICE BUILDINGS.
- PROPOSED ASSOCIATED TRASH ENCLOSURES WITH OVERHEAD ROOF.
- PROPOSED PARKING, LANDSCAPE, WQMP, AND HARDSCAPE IMPROVEMENTS.
- PROPOSED OFFSITE DRIVEWAY IMPROVEMENTS, UTILITY CONNECTIONS, AND MEDIAN LOCATED ALONG ALESSANDRO BOULEVARD.
- PROPOSED ALCOHOL SALES.
- SIGNAGE NOT A PART OF REVIEW.
- A RECIPROCAL ACCESS AGREEMENT IS REQUIRED FOR ALL SHARED-USE DRIVEWAYS AND PARKING STALLS OR STATED IN CC &R'S.
- TENTATIVE PARCEL MAP TO SUBDIVIDE THE PROPERTY.

SITE DATA

ADDRESS: NWC ALESSANDRO BLVD. & LASSELLE ST.
MORENO VALLEY, CA 92553

PERMIT NUMBER: PEN21-0273

APN: 479-631-010

LEGAL: 8.37 ACRES M/L IN LOT 8 BLK. 102 MB 011/010 SB
BEAR VALLEY & ALESSANDRO DEVELOPMENT CO

LOT SIZE: EXISTING NET: 8.51 ACRES (370,591 S.F.)
PROPOSED TOTAL NET: 7.97 ACRES (347,154 S.F.)
TOTAL GROSS: 10.16 ACRES (442,386 S.F.)

BUILDING AREAS: C-STORE: 3,825 S.F.
QSR: 1,600 S.F.
CANOPY: 5,640 S.F.
EXPRESS CAR WASH: 3,850 S.F.
DRIVE-THRU A: 3,320 S.F.
RETAIL A: 1,600 S.F.
DRIVE-THRU B: 3,320 S.F.
RETAIL B: 1,600 S.F.
SIT DOWN DINNING: 5,500 S.F. W/ 1,750 S.F. PATIO
BANK: 3,375 S.F.
OFFICE A: 4,950 S.F.
OFFICE B: 4,950 S.F.
TRASH ENCLOSURE: 176 S.F. (TYP. OF 8)

FLOOR AREA RATIO: .13

BUILDING HEIGHT: MAX HEIGHT: 30'-0"

STORIES: SINGLE

COUNTY: RIVERSIDE

CONSTRUCTION TYPE: V-8/(SPRINKLERED)

ALCOHOL SALES: YES

OCCUPANCY: M

SPECIFIC PLAN: N/A

FEMA ZONE: 06065C0765G (ZONE X - OTHER AREAS)

EXISTING LAND USE: VACANT

PROPOSED LAND USE: RETAIL / COMMERCIAL

EXISTING ZONE: (COMU) - CORRIDOR MIXED USE

PROPOSED ZONE: (COMU) - CORRIDOR MIXED USE

SURROUNDING LAND USE AND ZONING: NORTH: (RS) - SINGLE FAMILY RESIDENTIAL
SOUTH: (COMU) - CORRIDOR MIXED-USE
EAST: (DC) - DOWNTOWN CENTER
WEST: (RS) - SINGLE FAMILY RESIDENTIAL & (COMO) - CORRIDOR MIXED-USE

PARKING REQUIREMENTS: PER MUNICIPAL CODE SECTION 9.11.040*
C-STORE: (3,825/225) = 17
QSR: (1,600/100) = 16
CANOPY (AUTOMOBILE SERVICE STATION): 2
EXPRESS CAR WASH: (10 + 1 PER 2 EMPLOYEES) = 13
DRIVE-THRU A: (3,320/100) = 33
RETAIL A: (1,600/225) = 7
DRIVE-THRU B: (3,320/100) = 33
RETAIL B: (1,600/225) = 7
SIT DOWN DINNING: ((5,500 + 1,715)/100) = 73
BANK: (3,375/225) = 17
OFFICE A: (4,950/225) = 22
OFFICE B: (4,950/225) = 22

PARKING PROVIDED = 262 STALLS
PROVIDED STANDARD 9'X15' = 246 RECIPROCAL
PROVIDED VACUUM 12' X 20' = 244DA
TOTAL PARKING PROVIDED = 270 STALLS
ADDITIONALLY PROVIDED CANOPY POSITIONS = 16

INCLUDED IN CALCULATION ABOVE:
ADA PARKING POSITIONS = 12 STANDARD, 1 VAC

CLEAN AIR VEHICLE PARKING REQUIRED: 12% MIN.
CLEAN AIR VEHICLE PARKING PROVIDED: 32 STALLS
CLEAN AIR VEHICLE PARKING PROVIDED: 32 STALLS

EVCS VEHICLE PARKING REQUIRED: 10% OF TOTAL
*INCLUDING: 1 VAN ACCESSIBLE, 1 STANDARD
ACCESSIBLE, & 1 AMBULATORY
EVCS VEHICLE PARKING REQUIRED: 27 STALLS
EVCS VEHICLE PARKING PROVIDED: 28 STALLS
BUILDING: 45,338 S.F. (13%)
LANDSCAPING: 93,230 S.F. (27%)
IMPERVIOUS: 208,586 S.F. (60%)
TOTAL: 347,154 S.F. (100%)

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS: LOT 8 IN BLOCK 102 OF MAP NO. 1, BEAR VALLEY AND ALESSANDRO DEVELOPMENT CO., IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK II PAGE 10 OF MAPS, RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA.

CODE INFORMATION

ALL CONSTRUCTION TO COMPLY WITH:
BUILDING CODE: 2019 CALIFORNIA BUILDING CODE
PLUMBING CODE: 2019 CALIFORNIA PLUMBING CODE
ELECTRICAL CODE: 2019 CALIFORNIA ELECTRIC CODE
MECHANICAL CODE: 2019 CALIFORNIA MECHANICAL CODE
ENERGY CODE: 2019 CALIFORNIA ENERGY CODE
GREEN BUILDING: 2019 CALIFORNIA GREEN BUILDING CODE
FIRE CODE: 2019 CALIFORNIA FIRE CODE (2015 IFC)
*WITH CITY OF MORENO VALLEY AMENDMENTS

VICINITY MAP



EMPIRE DESIGN GROUP Inc.



511 N Main St.
Lake Elsinore, CA 92530
951-696-1490
empiredesigngroup.biz

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CLIENT:

NORTHWEST MORENO PROPERTIES LLC

**NORTHWEST COMMERCIAL CENTER
APN: 479-631-010
NWC ALESSANDRO BLVD. & LASSELLE ST.
MORENO VALLEY, CA 92553**

ARCHITECT OF RECORD:
GREGORY S. HANN, AIA
511 N MAIN STREET
LAKE ELSINORE, CA 92530
TEL: 951-696-1490
CELL: 951-809-7601
E-MAIL: ghann@empiregr.biz



Date: MAY 20, 2020
Project Number: EDG#04360

NO.	DATE	REVISION DESCRIPTION
3-4-20		1ST CUP COMMENTS PER F019-004 DATED 3/5/19
2	1-1-22	2ND PC COMMENTS
2	1-1-22	3RD PC COMMENTS
2	4-15-22	4TH PC COMMENTS
5	6-3-22	TRAFFIC ORLE TRANSPORTATION COMMENTS
6	7-14-22	5TH PC COMMENTS

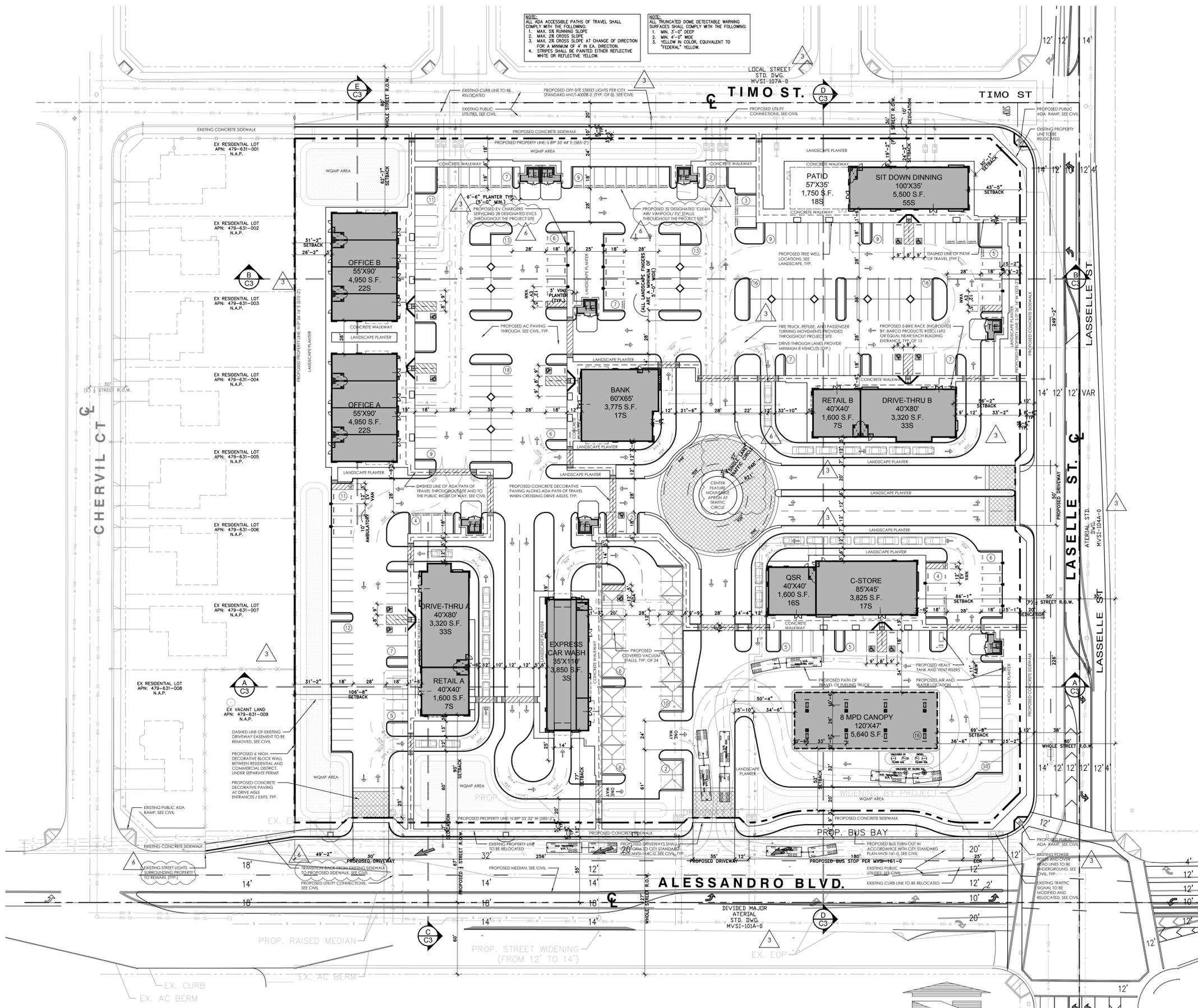
DESIGNED BY: GH
CHECKED BY: GH
DRAWN BY: AH
DRAWING TITLE:

TITLE SHEET

SHEET NO:

G 1.0

DATE PLOTTED: 5/20/2020 10:58:33 AM



NOTE: ALL ADA ACCESSIBLE PATHS OF TRAVEL SHALL COMPLY WITH THE FOLLOWING:
 1. MAX. 5% RUNNING SLOPE
 2. MAX. 2% CROSS SLOPE
 3. MAX. 2% CROSS SLOPE AT CHANGE OF DIRECTION FOR A MINIMUM OF 4' IN EACH DIRECTION
 4. STRIPES SHALL BE PAINTED EITHER REFLECTIVE WHITE OR REFLECTIVE YELLOW

NOTE: TRUNCATED DOME DETECTABLE WARNING SURFACES SHALL COMPLY WITH THE FOLLOWING:
 1. MIN. 3'-0" DEEP
 2. MIN. 4'-0" WIDE
 3. YELLOW IN COLOR, EQUIVALENT TO "FEDERAL" YELLOW

SITE DATA

ADDRESS: NWC ALESSANDRO BLVD. & LASSELLE ST. MORENO VALLEY, CA 92553

PERMIT NUMBER: PEN21-0273

APN: 479-631-010

LEGAL: 8.37 ACRES M/L IN LOT 8 BLK 102 MB 011/010 SB BEAR VALLEY & ALESSANDRO DEVELOPMENT CO

LOT SIZE: EXISTING NET: 8.51 ACRES (370,591 S.F.)
 PROPOSED TOTAL NET: 7.97 ACRES (347,154 S.F.)
 TOTAL GROSS: 10.16 ACRES (442,386 S.F.)

BUILDING AREAS: C-STORE: 3,825 S.F.
 QSR: 1,600 S.F.
 CANOPY: 5,640 S.F.
 EXPRESS CAR WASH: 3,850 S.F.
 DRIVE-THRU A: 3,320 S.F.
 RETAIL A: 1,600 S.F.
 DRIVE-THRU B: 3,320 S.F.
 RETAIL B: 1,600 S.F.
 SIT DOWN DINNING: 5,500 S.F. W/ 1,750 S.F. PATIO
 BANK: 3,775 S.F.
 OFFICE A: 4,950 S.F.
 OFFICE B: 4,950 S.F.
 TRASH ENCLOSURE: 176 S.F. (TYP. OF 8)

FLOOR AREA RATIO: .13

BUILDING HEIGHT: MAX HEIGHT: 30'-0"

STORIES: SINGLE

COUNTY: RIVERSIDE

CONSTRUCTION TYPE: V-B/(SPRINKLERED)

ALCOHOL SALES: YES

OCCUPANCY: M

SPECIFIC PLAN: N/A

FEMA ZONE: 06065C0765G (ZONE X - OTHER AREAS)

EXISTING LAND USE: VACANT

PROPOSED LAND USE: RETAIL / COMMERCIAL

EXISTING ZONE: (COMU) - CORRIDOR MIXED USE

PROPOSED ZONE: (COMU) - CORRIDOR MIXED USE

SURROUNDING LAND USE AND ZONING: NORTH: (RS) - SINGLE FAMILY RESIDENTIAL
 SOUTH: (COMU) - CORRIDOR MIXED USE
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 WEST: (RS) - SINGLE FAMILY RESIDENTIAL & (COMO) - CORRIDOR MIXED-USE

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 CANOPY (AUTOMOBILE SERVICE STATION): 2
 EXPRESS CAR WASH: (10 + 1 PER 2 EMPLOYEES) = 13
 DRIVE-THRU A: (3,320/100) = 33
 RETAIL A: (1,600/225) = 7
 DRIVE-THRU B: (3,320/100) = 33
 RETAIL B: (1,600/225) = 7
 SIT DOWN DINNING: ((5,500 + 1,715)/100) = 73
 OFFICE A: (4,950/225) = 22
 OFFICE B: (4,950/225) = 22
PARKING REQUIRED = 282 STALLS
 PROVIDED STANDARD 9'X18' = 246 RECIPROCAL
 PROVIDED VACUUM 12' X 20' = 24
TOTAL PARKING PROVIDED = 270 STALLS
 ADDITIONALLY PROVIDED CANOPY POSITIONS = 16

INCLUDED IN CALCULATION ABOVE:
 ADA PARKING POSITIONS = 12 STANDARD, 1 VAC

CLEAN AIR VEHICLE PARKING REQUIRED: 12% MIN.
 CLEAN AIR VEHICLE PARKING PROVIDED: 32 STALLS
 CLEAN AIR VEHICLE PARKING PROVIDED: 32 STALLS

EVCS VEHICLE PARKING REQUIRED: 10% OF TOTAL
 INCLUDING: 1 VAN ACCESSIBLE, 1 STANDARD ACCESSIBLE, & 1 AMBULATORY
 EVCS VEHICLE PARKING PROVIDED: 27 STALLS
 EVCS VEHICLE PARKING PROVIDED: 28 STALLS

LANDSCAPING: 45,338 S.F. (13%)
 LANDSCAPING: 93,230 S.F. (27%)
 IMPERVIOUS: 208,586 S.F. (60%)
 TOTAL: 347,154 S.F. (100%)

LOT COVERAGE:

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS: LOT 8 IN BLOCK 102 OF MAP NO. 1, BEAR VALLEY AND ALESSANDRO DEVELOPMENT CO., IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK II PAGE 10 OF MAPS, RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA.

PROJECT OWNERS / APPLICANTS

DANNY SINGH 3017 E. EDINGER AVE. TUSTIN, CA 92780
 CELL PHONE: (949) 430-5345
 E-MAIL: danny Singh9@gmail.com

DAVE BHATIA 3017 E. EDINGER AVE. TUSTIN, CA 92780
 CELL PHONE: (714) 267-3290
 E-MAIL: dabhata2006@yahoo.com

ARCHITECT / EXHIBIT PREPARER

EMPIRE DESIGN GROUP, INC.
 511 N MAIN STREET
 LAKE ELSINORE, CA 92530
 PHONE: (951) 696-1490
 E-MAIL: ghann@empiredsg.biz
 CONTACT: GREGORY HANN, ARCHITECT

VICINITY MAP

EMPIRE DESIGN GROUP Inc.

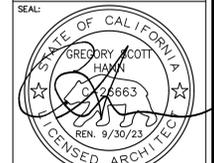
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 Lake Elsinore, CA 92530
 951-696-1490
 empiredesigngroup.biz

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NORTHWEST MORENO PROPERTIES LLC

NORTHWEST COMMERCIAL CENTER
 APN: 479-631-010
 NWC ALESSANDRO BLVD. & LASSELLE ST.
 MORENO VALLEY, CA 92553

ARCHITECT OF RECORD:
 GREGORY S. HANN, AIA
 511 N MAIN STREET
 LAKE ELSINORE, CA 92530
 TEL: 951-696-1490
 CELL: 951-809-7601
 E-MAIL: ghann@empiredsg.biz



NO.	DATE	REVISION DESCRIPTION
1	3-4-20	1ST CUP COMMENTS PER FONR-DMA DATED 3/5/19
2	1-1-21	2ND PC COMMENTS
3	1-1-22	3RD PC COMMENTS
4	4-15-22	4TH PC COMMENTS
5	6-3-22	TRAFFIC ORLE TRANSPORTATION COMMENTS
6	7-14-22	5TH PC COMMENTS

DESIGNED BY: GH
 CHECKED BY: GH
 DRAWN BY: AH
 DRAWING TITLE:

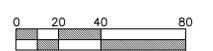
CONCEPTUAL SITE PLAN

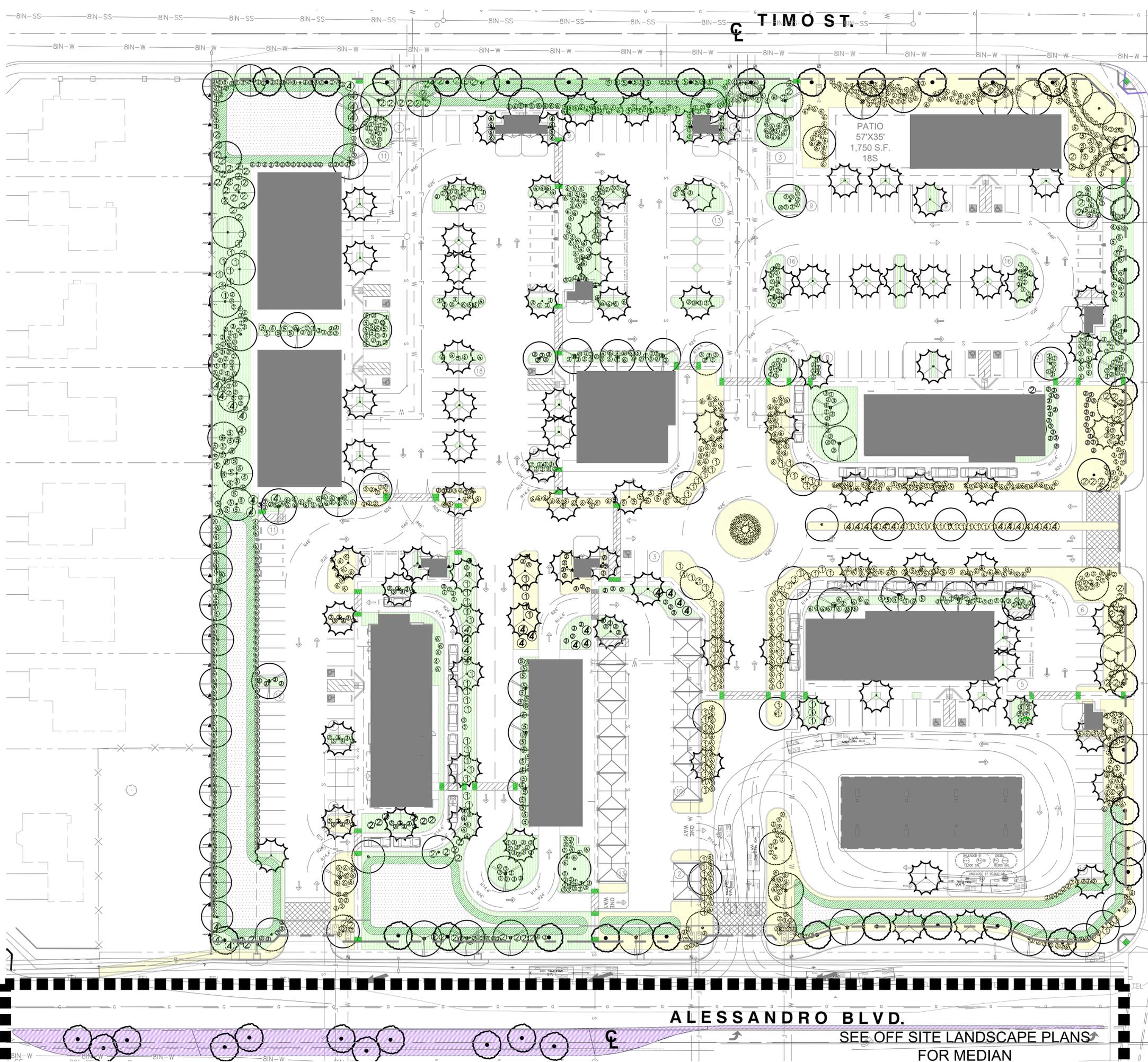
SHEET NO:

AS 1.0

CONCEPTUAL SITE PLAN

SCALE: 1" = 40'-0"





PLANT PALLETTE

SYMBOL	BOTANICAL NAME/COMMON NAME	SIZE	QTY.
PROPOSED TREES:			
(Symbol)	ACACIA STENOPHYLLA / SHOESTRING ACACIA	24" BOX	22
(Symbol)	ARBUTUS 'MARINA' / MARINA ARBUTUS	24" BOX	54
(Symbol)	CERCIDILUM F. 'DESERT MUSEUM' / DESERT MUSEUM PALO VERDE	24" BOX	105
(Symbol)	OLEA EUROPAEA 'SWAN HILL' / SWAN HILL OLIVE	36" BOX	43
(Symbol)	STREET TREE PER CITY REQUIREMENTS - SEE OFF SITE PLANS	15 GAL.	46
(Symbol)	EXISTING TREE TO REMAIN / PROTECT IN PLACE	NA	3
PROPOSED SHRUBS:			
1	CAESALPINIA PULCHERRIMA / RED BIRD OF PARADISE	5 GAL.	170
2	GAURA LINDHEIMERI / GAURA	5 GAL.	136
3	HESPERALOE PARVIFLORA / RED YUCCA	1 GAL.	957
4	LAVATERA MARITIMA / TREE MALLOW	5 GAL.	52
5	SALVIA LEUCANTHA / MEXICAN BUSH SAGE	5 GAL.	204
6	MUHLENBERGIA C. 'REGAL MIST' / PINK MUHLY GRASS	1 GAL.	725
PROPOSED VINES:			
(Symbol)	MACPYDENA UNGIS-CATI / CATS CLAW VINE	5 GAL.	49
PROPOSED GROUND COVER:			
(Symbol)	MYOPORUM PARVIFOLIUM / MYOPORUM	1 GAL. @ 3" O.C.	44,662 S.F. = 4,913 PLANTS
(Symbol)	LANTANA M. 'GOLD RUSH' / GOLD RUSH LANTANA	1 GAL. @ 3" O.C.	25,465 S.F. = 2,801 PLANTS
(Symbol)	NO SYMBOL. MEDIUM BARK MULCH THROUGHOUT ALL SHRUB/G.C. AREAS	3" LAYER MIN.	80,761 S.F. = 748 CU. YDS.
PROPOSED INFILTRATION BASIN SLOPE PLANTING:			
(Symbol)	MUHLENBERGIA RIGENS / DEER GRASS	1 GAL. @ 4" O.C.	10,634 S.F. = 670 PLANTS
PROPOSED MEDIAN PLANTING:			
(Symbol)	MEDIAN PLANTING PER CITY REQUIREMENTS - SEE OFF SITE PLANS	5 GAL.	8,096 S.F.

NOTES:

1. ALL PROPOSED TREES, SHRUBS, VINE, AND GROUND COVER ARE TO BE IRRIGATED WITH AN AUTOMATIC ET BASED CONTROLLER AND DRIP IRRIGATION SYSTEM.
2. ALL ON SITE STREET TREES ARE TO BE PLANTED ON PRIVATE PROPERTY.
3. TOTAL NEW PROPOSED LANDSCAPE AREA: 80,761 S.F.
4. TOTAL NEW PROPOSED MEDIAN LANDSCAPE AREA: 8,096 S.F.

LANDSCAPE NOTES

1. ALL LANDSCAPING AND IRRIGATION TO BE INSTALLED BY OWNER OR OWNERS AGENT, IN ACCORDANCE WITH ALL LOCAL CODES AND REGULATIONS.
2. ALL LANDSCAPING SHALL BE MAINTAINED BY OWNER OR OWNERS AGENT.
3. ALL PLANTING SHALL BE CONTAINED WITHIN PROPERTY LINES OF THE LOT.
4. IRRIGATION AND PLANTING SHALL BE INSTALLED TO PROMOTE EFFICIENT USE OF WATER.
5. ALL STREET TREES AND ANY TREE WITHIN 8' FT. OF WALLS, HARDSCAPE, OR BUILDINGS SHALL BE INSTALLED WITH CITY APPROVED LINEAR BIO BARRIER ROOT CONTROL BARRIERS OR EQUAL.
6. ALL PLANTING LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL PLANT LOCATIONS WITH THE OWNER OR THE OWNERS REPRESENTATIVE PRIOR TO PLANTING.
7. ALL TREES SHALL BE DOUBLE STAKED PER LOCAL CODES.
8. REFER TO LANDSCAPE CONSTRUCTION DRAWING SET FOR PLANTING DETAILS AND SPECIFICATIONS.
9. TREE PLACEMENT MINIMUMS SHALL BE: 10' FROM LIGHT STANDARDS, POWER POLES, AND DRIVE APPROACHES AND 5' FROM FIRE HYDRANTS, UTILITIES AND PROPERTY LINES. NO TREES ALLOWED IN SWALES.
10. ALL 2:1 SLOPES SHALL BE PLANTED AND IRRIGATED PER THE CITY OF MORENO VALLEY CODES AND REGULATIONS.
11. ALL IRRIGATION SYSTEMS SHALL BE INSTALLED PER ALL STATE AND CITY OF MORENO VALLEY CODES AND REGULATIONS.
12. ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN AUTOMATIC ET BASED CONTROLLER AND DRIP IRRIGATION SYSTEM WHERE WATER IS CONSERVED, THERE IS NO RUN-OFF, AND WHERE HYDROZONE AREAS ARE VALVED SEPARATELY. REFER TO LANDSCAPE CONSTRUCTION DRAWING SET FOR IRRIGATION DETAILS AND SPECIFICATIONS.
13. ALL SHRUB PLANTER AREAS SHALL RECEIVE A 3" LAYER MIN. OF MEDIUM BARK MULCH.
14. ALL LANDSCAPED AREAS SHALL BE KEPT FREE FROM WEEDS AND DEBRIS AND MAINTAINED IN A HEALTHY, GROWING CONDITION AND SHALL RECEIVE REGULAR PRUNING, FERTILIZING, AND TRIMMING. ANY DAMAGED, DEAD, DISCARDED, OR DECAYING PLANT MATERIAL SHALL BE REPLACED WITHIN 30 DAYS FROM THE DATE OF DAMAGE.
15. ALL LANDSCAPING SHALL BE WITHIN PLANTERS BOUNDED BY A CURB AT LEAST SIX INCHES HIGH. A SIX-INCH HIGH CURB WITH A TWELVE (12) INCH WIDE CONCRETE WALKWAY SHALL BE CONSTRUCTED ALONG PLANTERS ON END STALLS ADJACENT TO VEHICLE PARKING SPACES.
16. ALL STREET TREES SHALL BE 15 GALLON SIZE CONTAINERS AND SPACED AT 40' MINIMUM.
17. ALL HEADLIGHTS IN PARKING AREAS SHALL BE SCREENED WITH A 36" HIGH SHRUB ROW SHALL THEY DO NOT SHINE ONTO PUBLIC ROW OR ADJACENT PROPERTY.
18. ALL PARKING LOTS AND DRIVE-THROUGHS SHALL BE SCREENED FROM PUBLIC VIEW WITH A 36" HIGH SHRUB ROW.
19. ALL UTILITIES SHALL BE SCREENED WITH LANDSCAPE.

WATER CALCULATIONS

MAXIMUM APPLIED WATER ALLOWANCE	
MAWA = Maximum Applied Water Allowance (GALLONS)	
MAWA = (ET) x (0.62) x [(0.45 x LA) + (0.3 x SLA)]	
ET = Reference Evapotranspiration (inches per year)	55.1
0.62 = Conversion Factor (to gallons per square foot)	0.62
0.45 = ET Adjustment Factor (45% of Reference ET)	0.45
LA = Total Landscaped Area (square feet)	88,857
SLA = Special Landscape Area	0
TOTAL MAWA	1,365,990

ROBERT TAFT + ASSOCIATES
LANDSCAPE ARCHITECTURE

Termeclua Valley Office:
36275 Avenida De Acacias
Termeclua, California 92592
Ph.: 951.676.5688

Orange County Office:
5331 Stonehedge Court
Yorba Linda, California 92886
Ph.: 949.385.1254

Ca. Lic. No. 3669
Email: Info@RobertTaftandAssociates.com
Web: www.RobertTaftandAssociates.com

Client
EMPIRE DESIGN GROUP
24861 Washington Ave.
Murrieta, CA 92562
Contact: Gregory S Hann
Phone: 951.696.1490
Fax: 951.696.1443
Email: ghahn@empiregr.biz

Project
MORENO VALLEY COMMERCIAL CENTER
NWC Alessandro Blvd. & Lassel St.
Moreno Valley, California 92553

Plans
CONCEPTUAL LANDSCAPE PLANS

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LANDSCAPE ARCHITECTURE 2022
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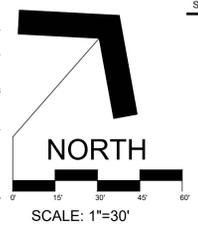


No.	Revision	Date

Sheet Title
LANDSCAPE CONCEPT PLAN

Drawn: R.E.T.
Date: September 21, 2022
Scale: See Plan
Job No. _____

Sheet
L1
of 1



ALESSANDRO BLVD.
SEE OFF SITE LANDSCAPE PLANS FOR MEDIAN

PRELIMINARY GRADING PLAN FOR COMMERCIAL RETAIL

NWC ALESSANDRO BLVD. & LASSELLE ST., MORENO VALLEY CA 92553



VICINITY MAP
N.T.S.

PROJECT INFORMATION:

ENGINEER
PLUMP ENGINEERING INC.
914 E KATELLA AVE
ANAHEIM, CA 92805
EMAIL: TROY@PEICA.COM

ARCHITECT
EMPIRE DESIGN GROUP
24861 WASHINGTON AVE.
MURRIETTA, CA 92562
(951) 696-1490
EMAIL: GHAN@EMPIREGR.81Z



EMPIRE DESIGN GROUP

NORTHWEST MORENO PROPERTIES LLC

COMMERCIAL RETAIL
APN: 479-631-010
NWC ALESSANDRO BLVD. & LASSELLE ST.
MORENO VALLEY, CA 92553

ENGINEER OF RECORD:
TRYFON TRYFONOPOULOS, PE
914 E KATELLA AVE.
ANAHEIM, CA 92805
(714) 385-1835



Date: 11/3/2022
Project Number: 2001078

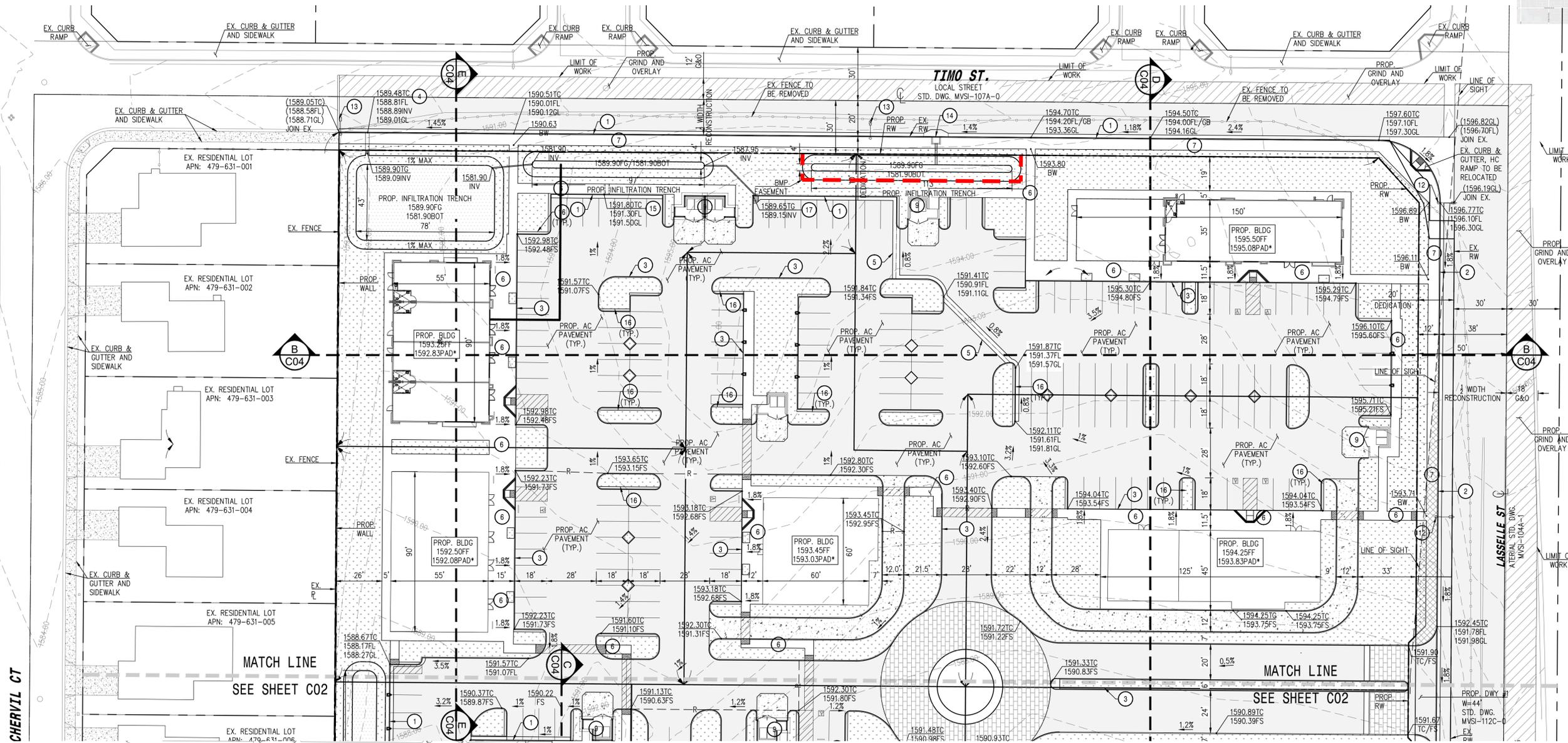
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DESIGNED BY: TT
CHECKED BY: TT
DRAWN BY: AA/JT/NA/DD
DRAWING TITLE:

PRELIMINARY GRADING PLAN

SHEET NO:

C02



MATCH LINE
SEE SHEET C02

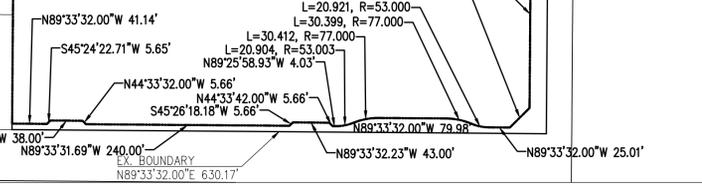
MATCH LINE
SEE SHEET C02

BOUNDARY MAP
SCALE: 1"=100'

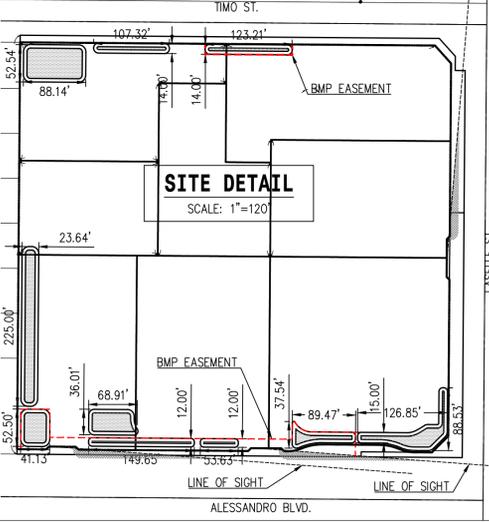
EXISTING BOUNDARY SOURCE:
ASSESSOR'S MAP BOOK 479, PG. 63
RIVERSIDE COUNTY, CA

LEGEND:

— EXISTING BOUNDARY
— PROPOSED BOUNDARY



SITE DETAIL
SCALE: 1"=120'



CONSTRUCTION NOTES

- 1 CONSTRUCT 6" CONCRETE CURB & GUTTER PER CITY MORENO VALLEY STD. DWG. MVS1-120A-0
- 2 CONSTRUCT 8" CONCRETE CURB & GUTTER PER CITY MORENO VALLEY STD. DWG. MVS1-120B-0
- 3 CONSTRUCT 6" CONCRETE CURB PER CITY MORENO VALLEY STD. DWG. MVS1-121A-0
- 4 CONSTRUCT SIDEWALK OUTLET STRUCTURE PER CITY OF MORENO VALLEY STD. DWG. MVS1-151A-0
- 5 CONSTRUCT CONCRETE V-GUTTER
- 6 CONSTRUCT 4" CONCRETE WALKWAY
- 7 CONSTRUCT CONCRETE SIDEWALK PER CITY OF MORENO VALLEY STD. DWG. MVS1-115A-0
- 8 CONSTRUCT CURB OPENING PER DETAIL GR-1 ON SHEET C04.1
- 9 TRASH ENCLOSURE PER ARCHITECTURAL PLAN SET
- 12 FURNISH & INSTALL STREET LIGHT PER CITY OF MORENO VALLEY STD. DWG. MVL1-400B-2
- 13 FURNISH & INSTALL STREET LIGHT PER CITY OF MORENO VALLEY STD. DWG. MVL1-400A-2
- 15 CONSTRUCT SIDEWALK UNDERDRAIN
- 16 CONSTRUCT STEP-THROUGH CURB PER DETAIL GR-2 ON SHEET C04.1

LEGEND:

- LANDSCAPE AREA
- INFILTRATION TRENCH AREA
- AC PAVEMENT
- PCC PAVEMENT
- GRIND & OVERLAY
- CONCRETE PAVERS
- LINE OF SIGHT AREA
- BMP EASEMENT

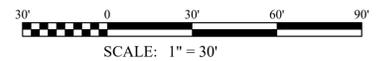
NOTE:

* MINIMUM PAD ELEVATION PER SOIL RECOMMENDATIONS

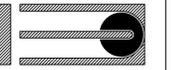
EARTHWORK:

FILL: 4,623 CY
CUT: 5,709 CY
EXPORT: 1,982 CY

EARTH WORK QUANTITIES ARE RAW ESTIMATES ONLY. THEY DO NOT REFLECT SUBSIDENCE, OR ANY MATERIAL GENERATED BY UTILITY TRENCHING AND BUILDING FOOTINGS. THE QUANTITIES SHOWN ABOVE ARE INTENDED FOR USE IN ESTABLISHING GOVERNING AGENCY FEES. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE QUANTITIES FOR BID PURPOSES. ANY EXPORT OR IMPORT REQUIRE TO BALANCE THE SITE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.



SCALE: 1" = 30'

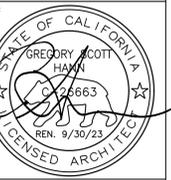


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**NORTHWEST
MORENO
PROPERTIES
LLC**

NORTHWEST COMMERCIAL CENTER
APN: 479-631-010
NWC ALESSANDRO BLVD. & LASSELLE ST.
MORENO VALLEY, CA 92553

ARCHITECT OF RECORD:
GREGORY S. HANN, AIA
511 N MAIN STREET
LAKE ELSINORE, CA 92530
TEL: 951-696-1490
CELL: 951-809-7601
E-MAIL: ghann@empiregr.biz



Date: MAY 20, 2020

Project Number: EDG#04360

NO.	DATE	REVISION DESCRIPTION
3-4-20		1ST CIP COMMENTS PER FONTS-DMA DATED 3/5/19
1-1-21		2ND PC COMMENTS
1-1-22		3RD PC COMMENTS
4-15-22		4TH PC COMMENTS

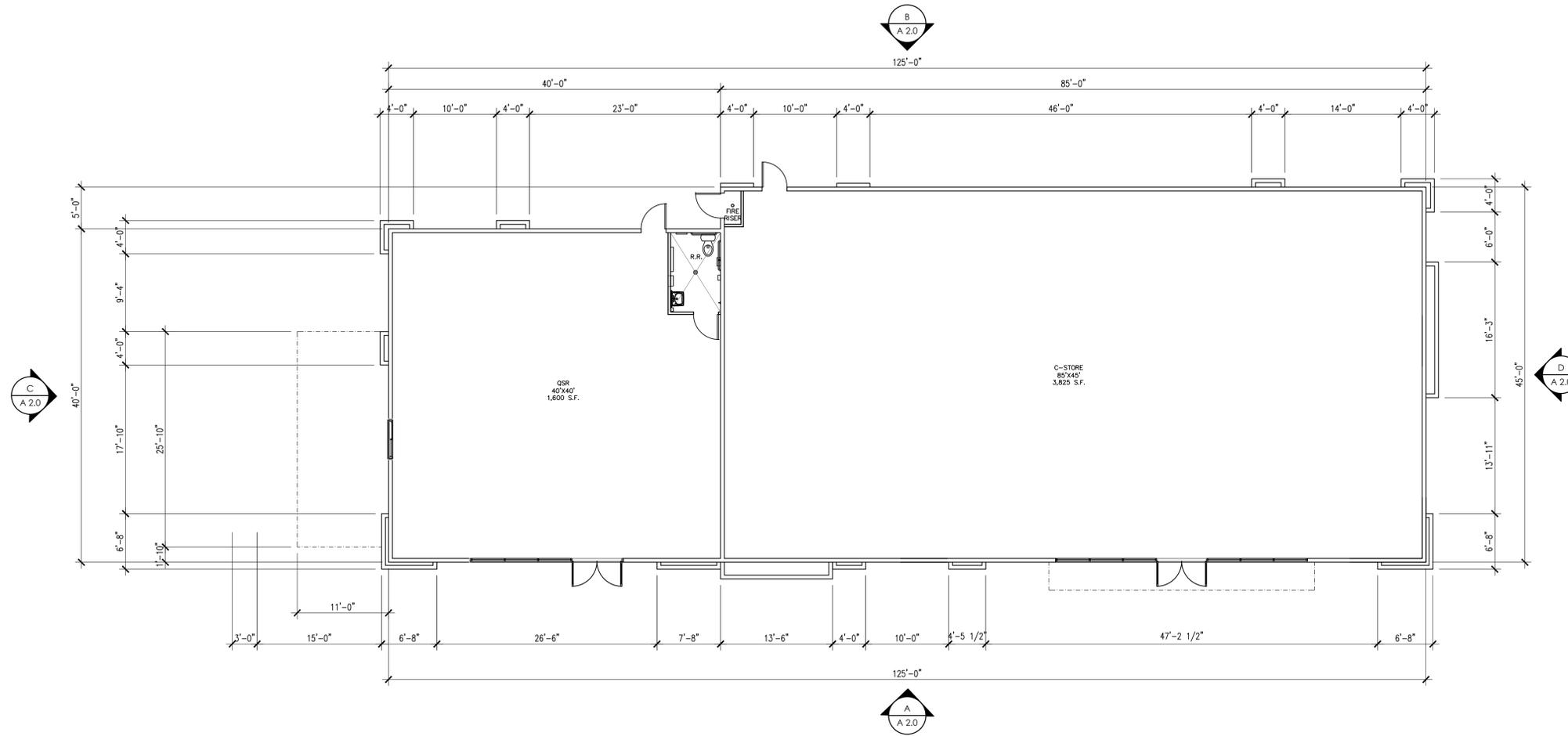
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CHECKED BY: GH
DRAWN BY: AH

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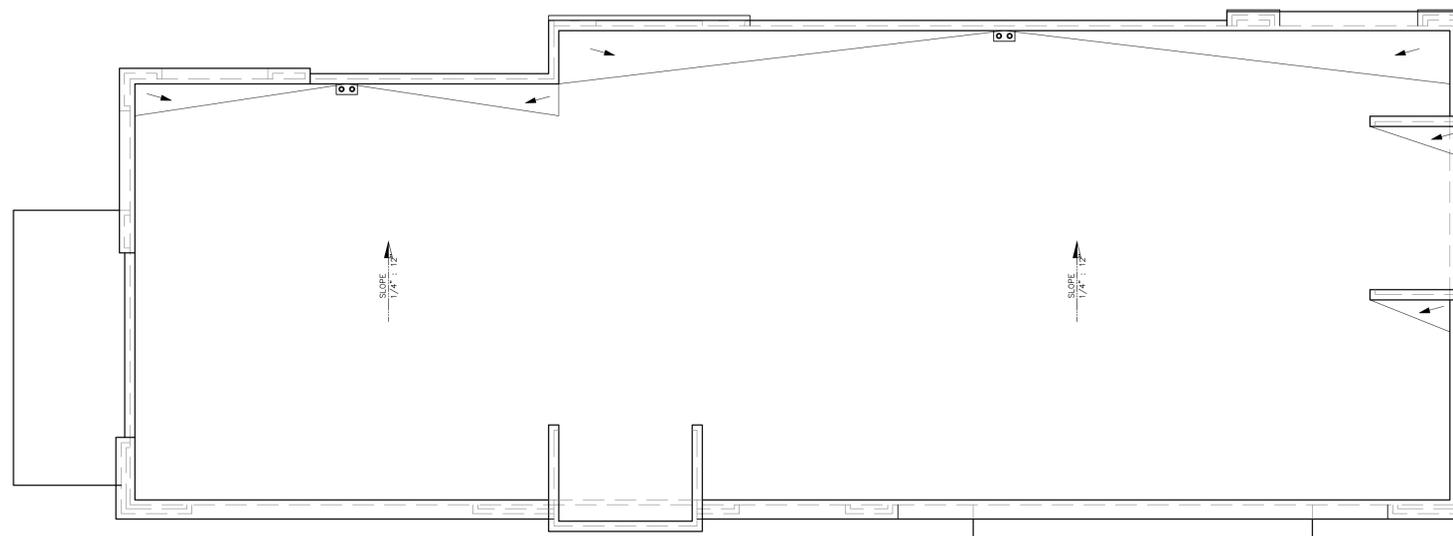
**C-STORE AND
QSR FLOOR PLAN**

SHEET NO:

A 1.0



A **C-STORE & QSR FLOOR PLAN**
SCALE: 1/8"=1'-0"



B **C-STORE & QSR ROOF PLAN**
SCALE: 1/8"=1'-0"



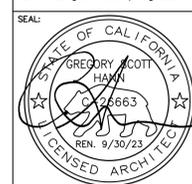
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APN: 479-631-010
NWC ALESSANDRO BLVD. & LASSELLE ST.
MORENO VALLEY, CA 92555

ARCHITECT OF RECORD:
GREGORY S. HANN, AIA
511 N MAIN STREET
LAKE ELSINORE, CA 92530
TEL: 951-696-1490
CELL: 951-809-7661
E-MAIL: ghann@empiregr.biz



Date: MAY 20, 2020

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1-1-21		2ND PC COMMENTS
1-1-22		3RD PC COMMENTS
4-15-22		4TH PC COMMENTS

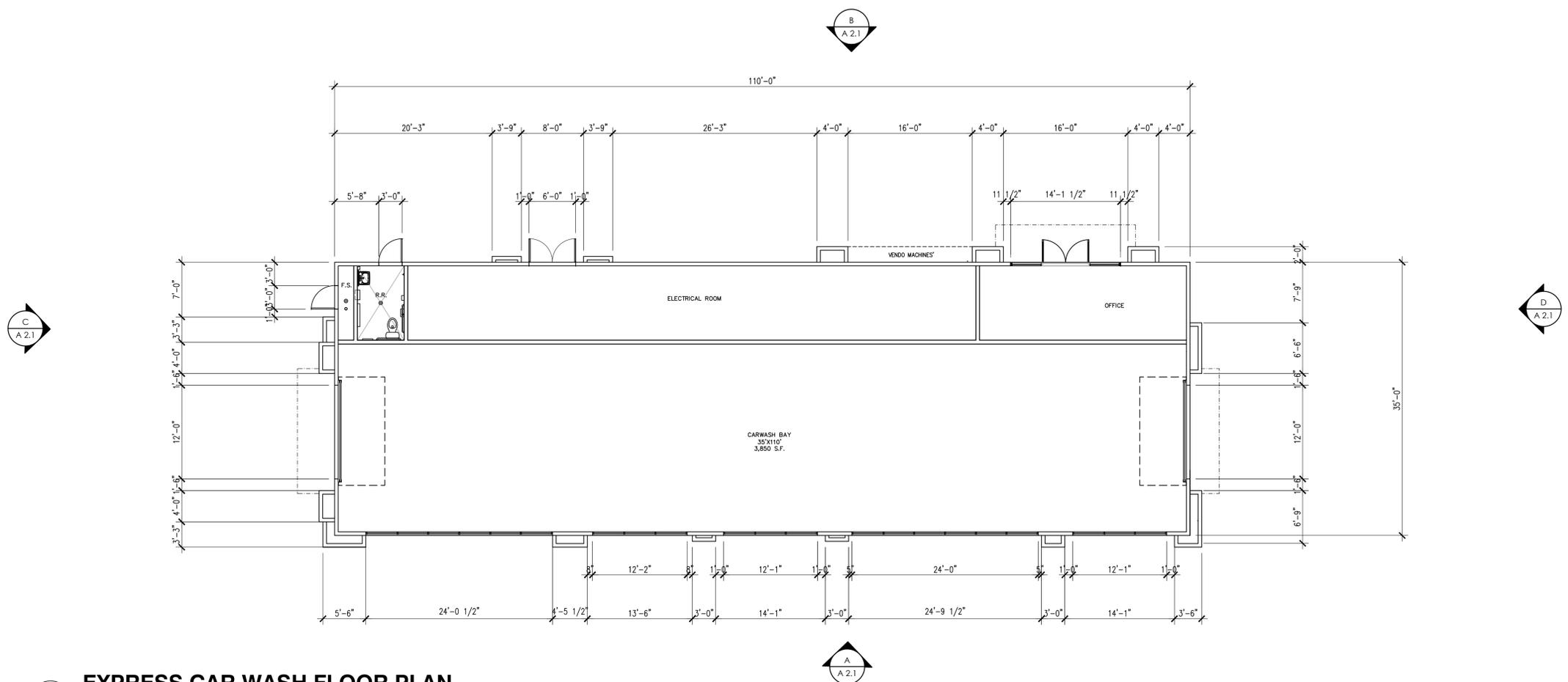
DESIGNED BY: GH
CHECKED BY: GH
DRAWN BY: AH

DRAWING TITLE:

**EXPRESS CAR WASH
FLOOR PLAN**

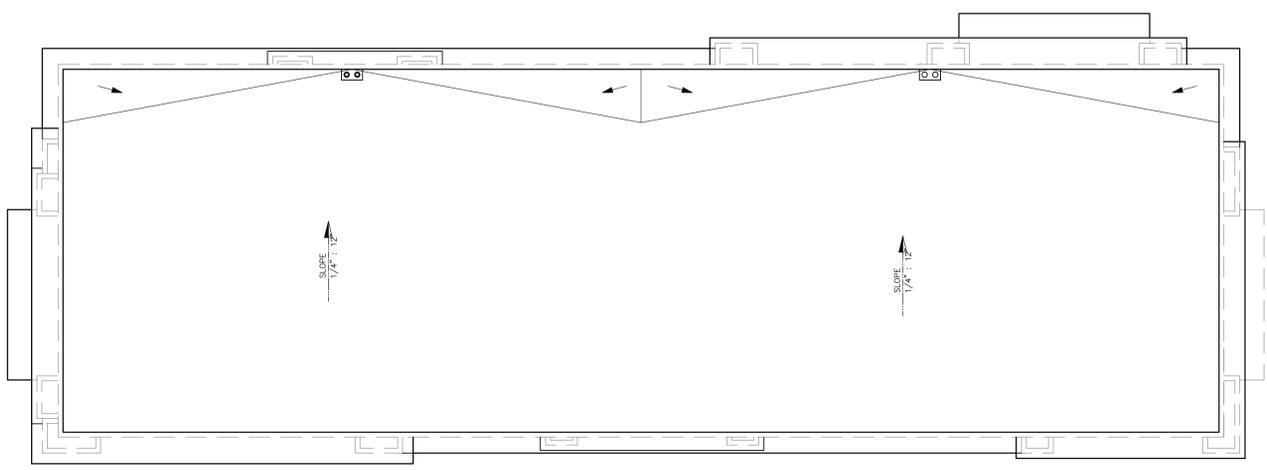
SHEET NO:

A 1.1



A EXPRESS CAR WASH FLOOR PLAN

SCALE: 1/8"=1'-0"



B EXPRESS CAR WASH ROOF PLAN

SCALE: 1/8"=1'-0"



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LLC**

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APN: 479-631-010
NWC ALESSANDRO BLVD. & LASSELLE ST.
MORENO VALLEY, CA 92553

ARCHITECT OF RECORD:
GREGORY S. HANN, AIA
511 N MAIN STREET
LAKE ELSINORE, CA 92530
TEL: 951-696-1490
CELL: 951-809-7601
E-MAIL: ghann@empiregr.biz



Date: MAY 20, 2020

Project Number: EDG#04360

NO.	DATE	REVISION DESCRIPTION
1	3-4-20	1ST CUP COMMENTS PER FONTS-DIA DATED 3/5/19
2	1-1-21	2ND PC COMMENTS
3	1-1-22	3RD PC COMMENTS
4	4-15-22	4TH PC COMMENTS

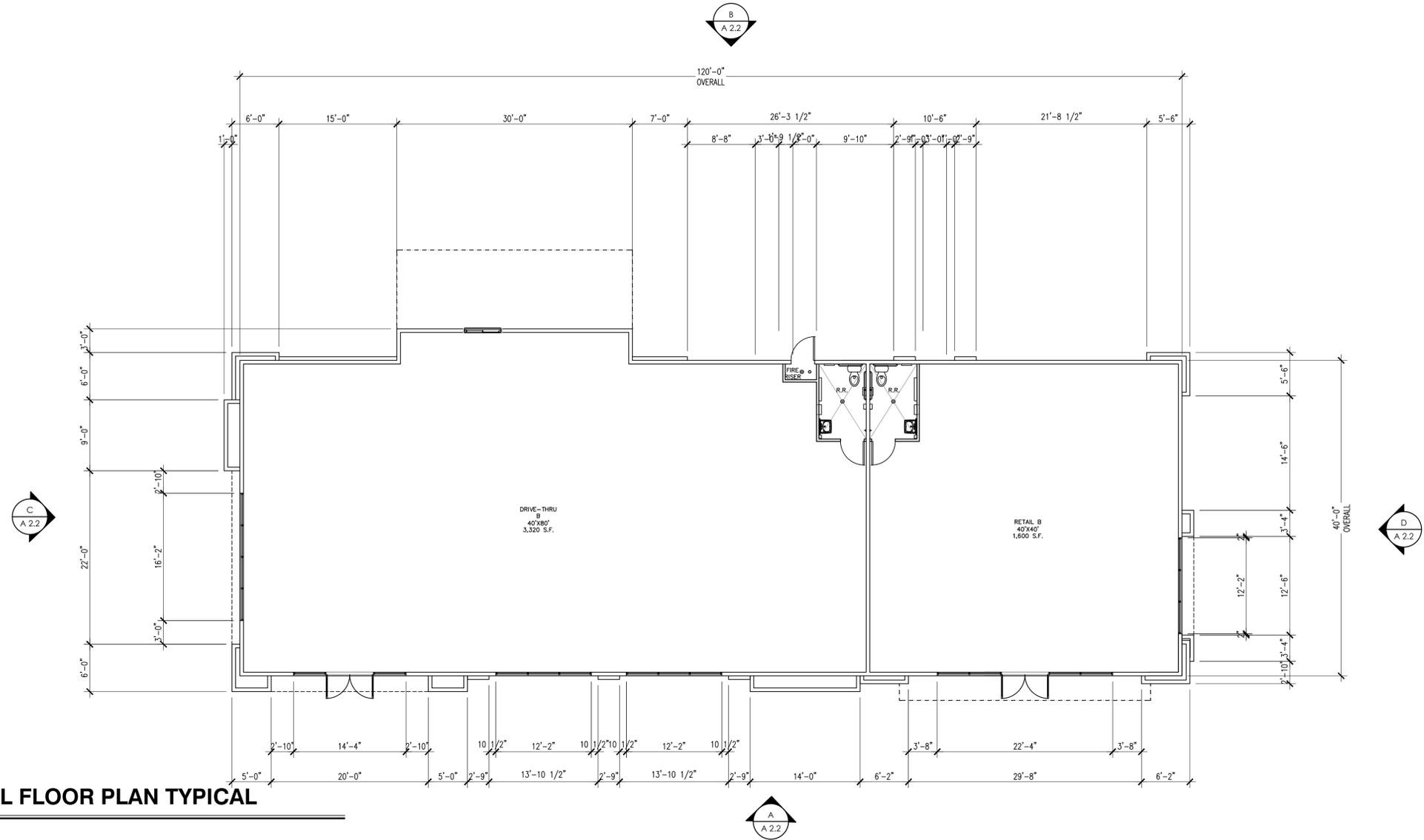
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CHECKED BY: GH
DRAWN BY: AH

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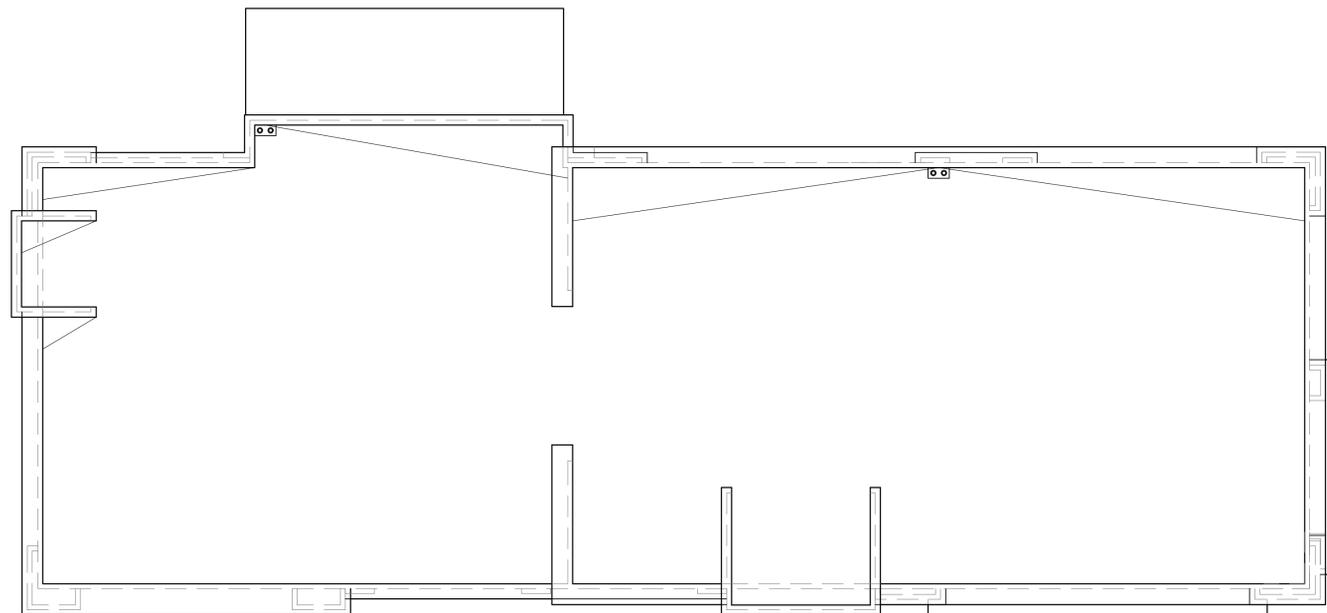
**DRIVE THRU AND
RETAIL FLOOR PLAN**

SHEET NO:

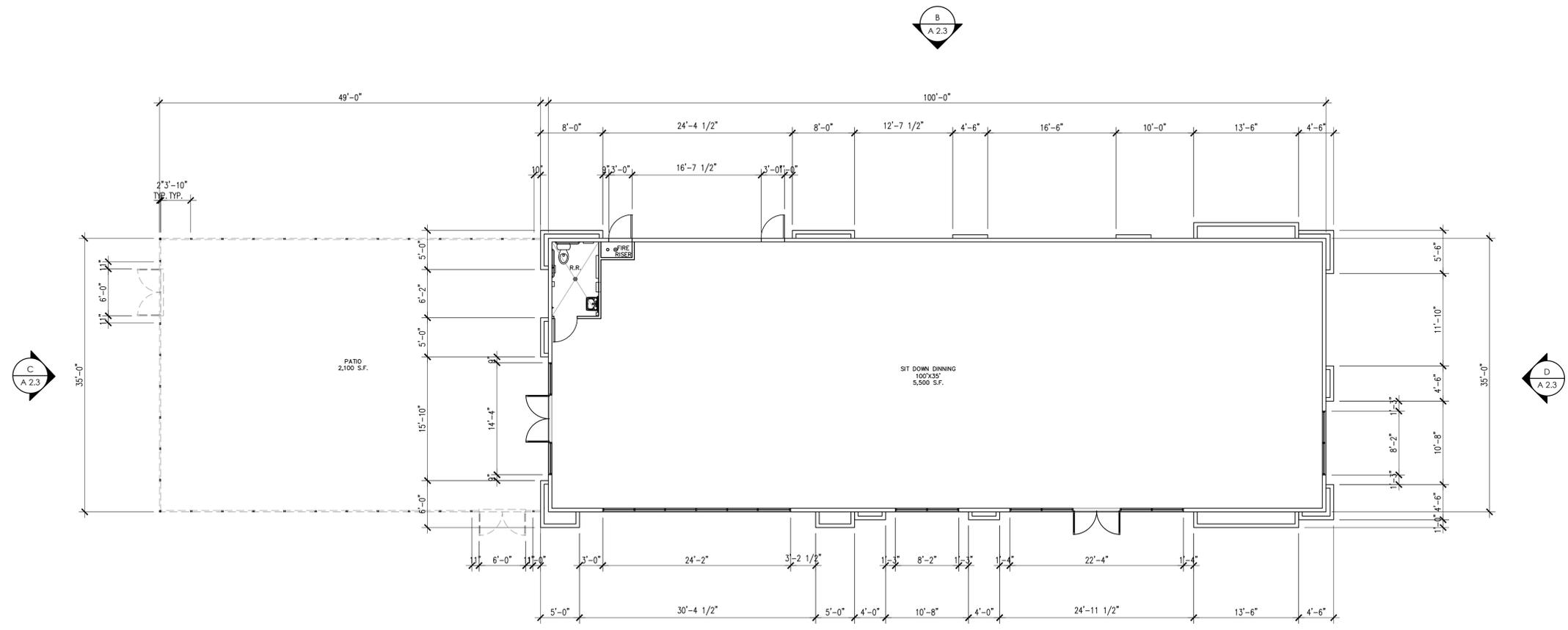
A 1.2



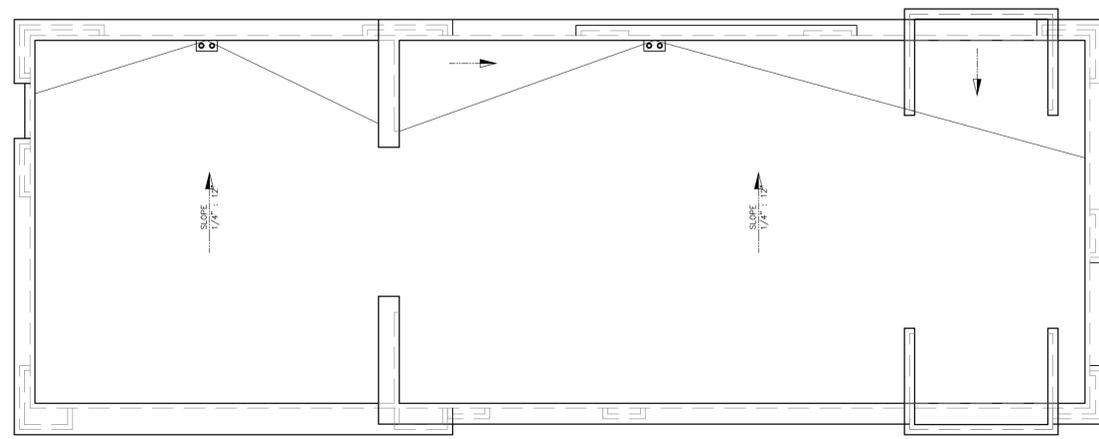
A DRIVE THRU & RETAIL FLOOR PLAN TYPICAL
SCALE: 1/8"=1'-0"



B DRIVE THRU & RETAIL ROOF PLAN TYPICAL
SCALE: 1/8"=1'-0"



A SIT DOWN DINING FLOOR PLAN
SCALE: 1/8"=1'-0"



B SIT DOWN DINING ROOF PLAN
SCALE: 1/8"=1'-0"

EMPIRE DESIGN GROUP Inc.
511 N Main St.
Lake Elsinore, CA 92530
951-696-1490
empiredesigngroup.biz

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NORTHWEST COMMERCIAL CENTER
APN: 479-631-010
NWC ALESSANDRO BLVD. & LASSELLE ST.
MORENO VALLEY, CA 92553

ARCHITECT OF RECORD:
GREGORY S. HANN, AIA
511 N MAIN STREET
LAKE ELSINORE, CA 92530
TEL: 951-696-1490
CELL: 951-809-7601
E-MAIL: ghann@empiregr.biz



Date: MAY 20, 2020
Project Number: EDG#04360

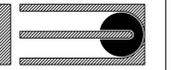
NO.	DATE	REVISION DESCRIPTION
3-4-20		1ST CIP COMMENTS PER FONTS-DIA DATED 3/5/19
1-1-21		2ND PC COMMENTS
1-1-22		3RD PC COMMENTS
4-15-22		4TH PC COMMENTS

DESIGNED BY: GH
CHECKED BY: GH
DRAWN BY: AH

DRAWING TITLE:
SIT DOWN DINING FLOOR PLAN

SHEET NO:

A 1.3

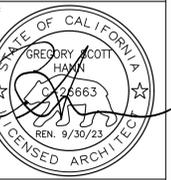


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LAKE ELSINORE, CA 92530
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NO.	DATE	REVISION DESCRIPTION
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1-1-21		2ND PC COMMENTS
1-1-22		3RD PC COMMENTS
4-15-22		4TH PC COMMENTS

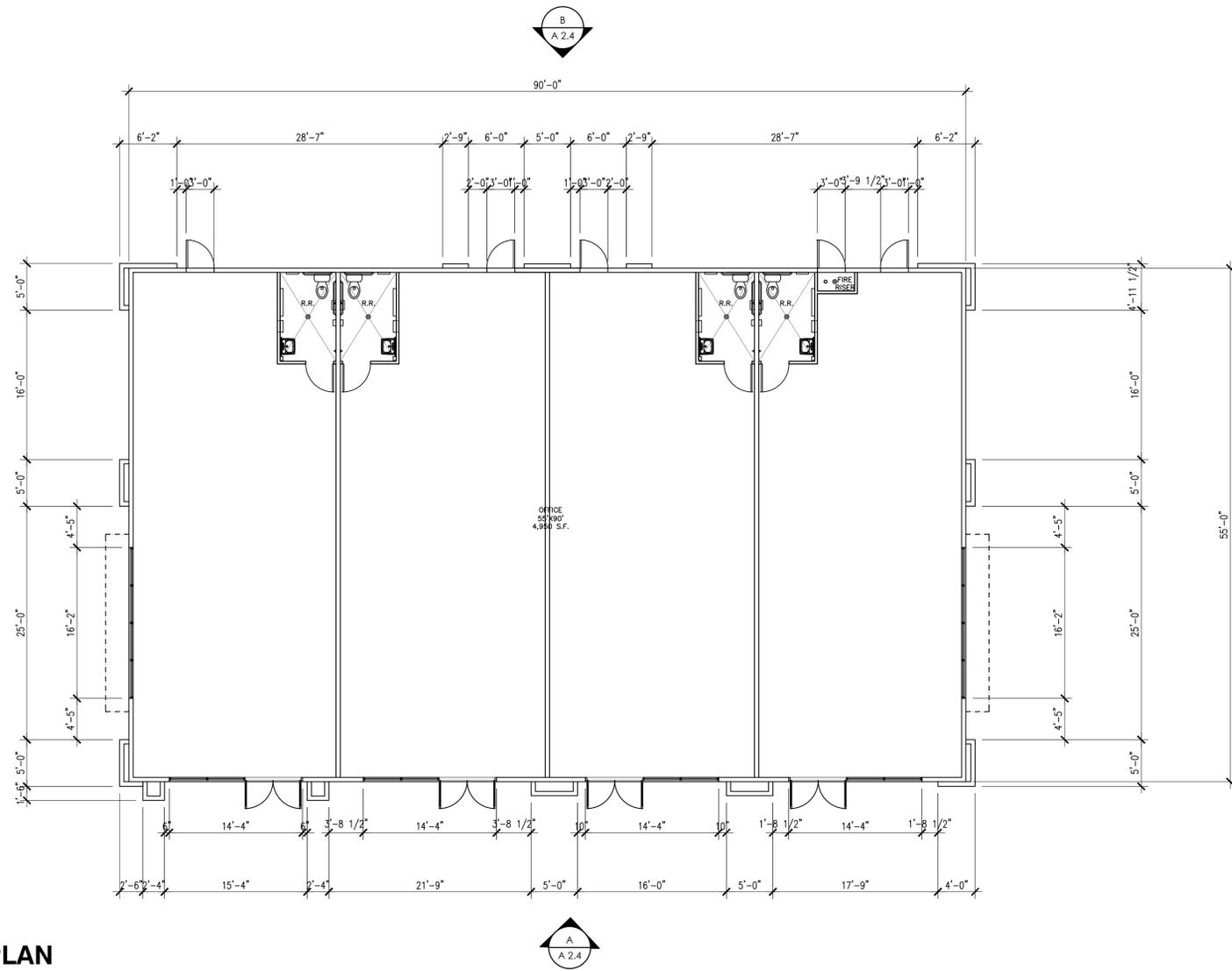
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CHECKED BY: GH
DRAWN BY: AH

DRAWING TITLE:

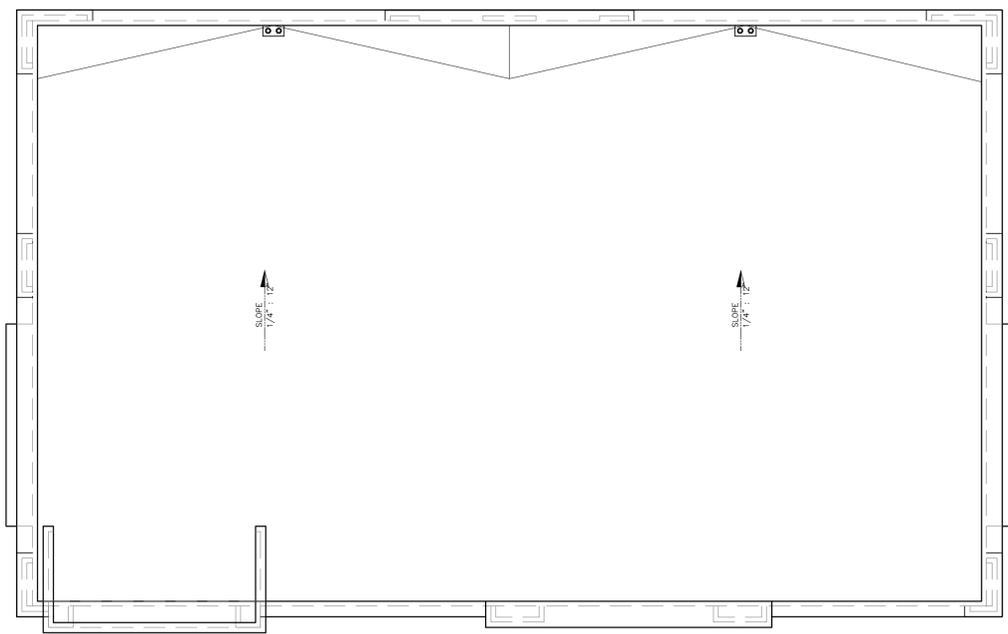
**OFFICE
FLOOR PLAN**

SHEET NO:

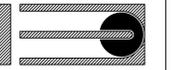
A 1.4



A OFFICE FLOOR PLAN
SCALE: 1/8"=1'-0"



B OFFICE ROOF PLAN
SCALE: 1/8"=1'-0"

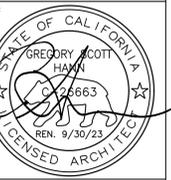


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LAKE ELSINORE, CA 92530
TEL: 951-696-1490
CELL: 951-809-7601
E-MAIL: ghann@empiregr.biz



Date: MAY 20, 2020

NO.	DATE	REVISION DESCRIPTION
1	3-4-20	1ST CUP COMMENTS PER FONTS-DMA DATED 3/5/19
2	1-1-21	2ND PC COMMENTS
3	1-1-22	3RD PC COMMENTS
4	4-15-22	4TH PC COMMENTS

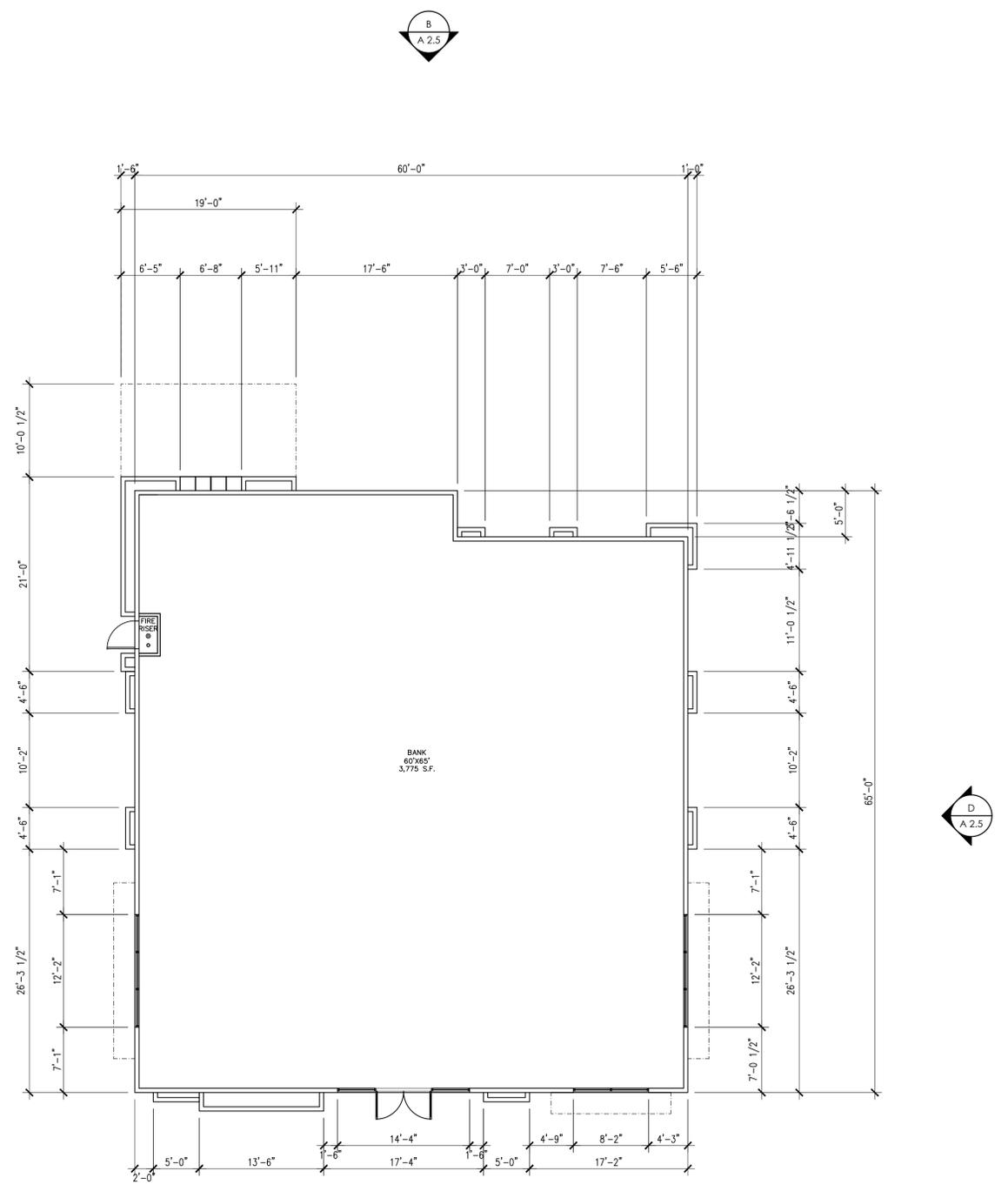
DESIGNED BY: GH
CHECKED BY: GH
DRAWN BY: AH

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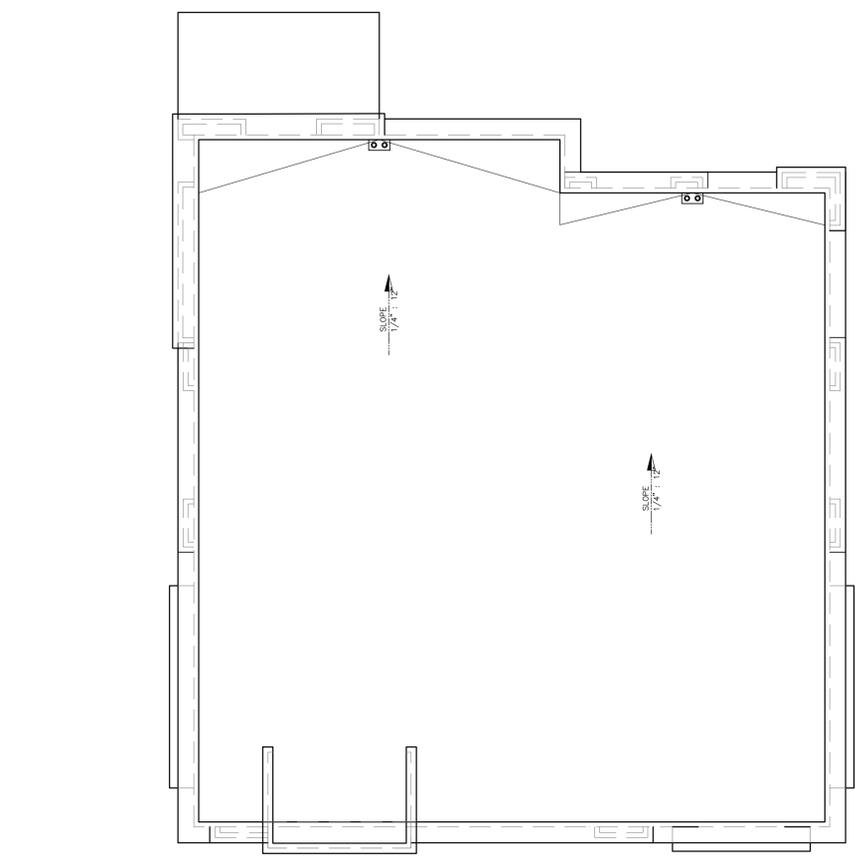
**BANK
FLOOR PLAN**

SHEET NO:

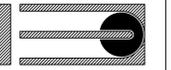
A 1.5



A **BANK FLOOR PLAN**
SCALE: 1/8"=1'-0"



B **BANK ROOF PLAN**
SCALE: 1/8"=1'-0"

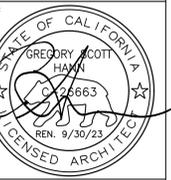


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CELL: 951-809-7601
E-MAIL: ghann@empiregr.biz



Date: MAY 20, 2020

Project Number: EDG#04360

NO.	DATE	REVISION DESCRIPTION
3-4-20		1ST CUP COMMENTS PER FONTS-DIA DATED 3/5/19
1-1-21		2ND PC COMMENTS
1-1-22		3RD PC COMMENTS
4-15-22		4TH PC COMMENTS

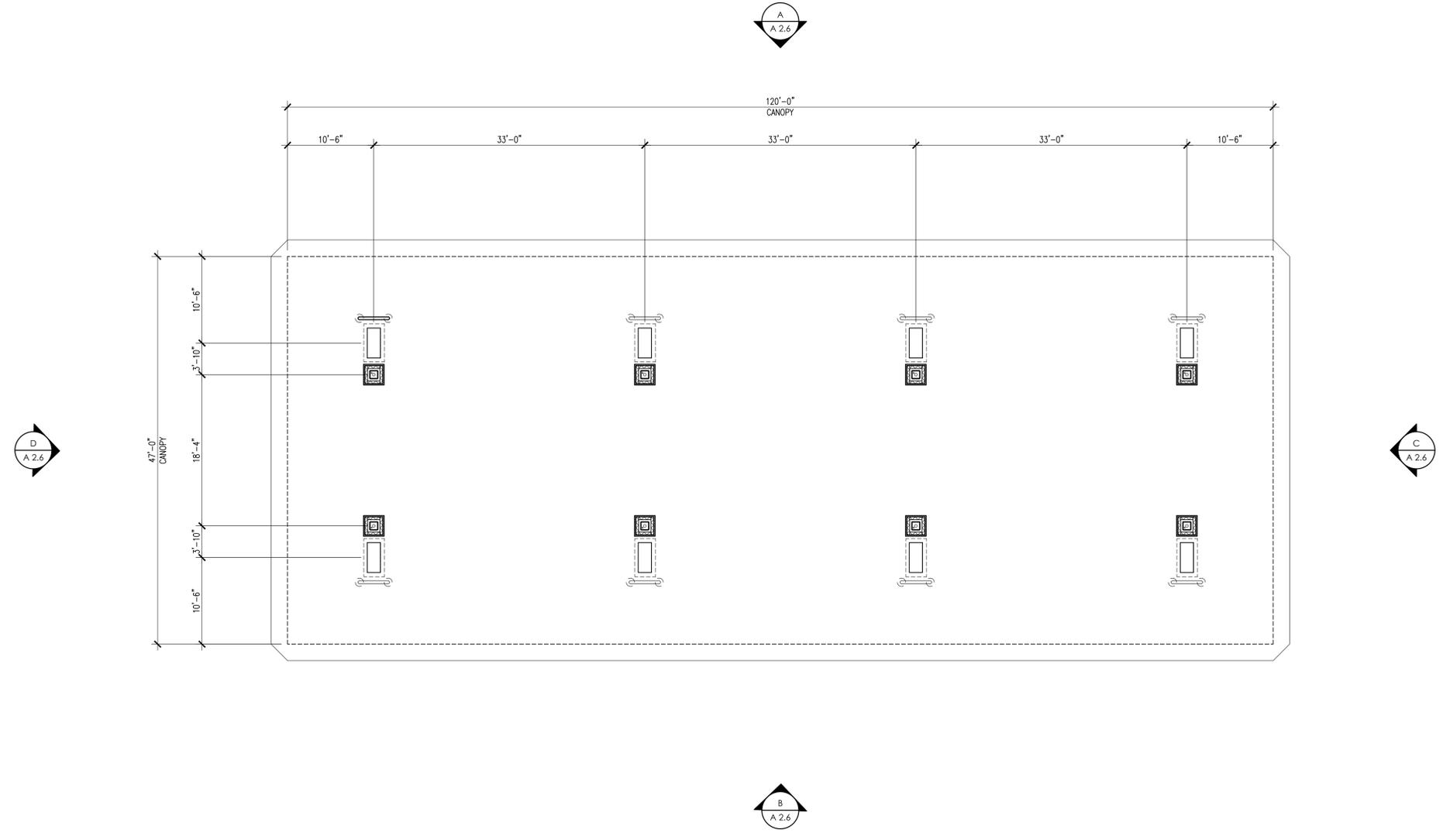
DESIGNED BY: GH
CHECKED BY: GH
DRAWN BY: AH

DRAWING TITLE:

**CANOPY
FLOOR PLAN**

SHEET NO:

A 1.6



A CANOPY FLOOR PLAN
SCALE: 1/8"=1'-0"

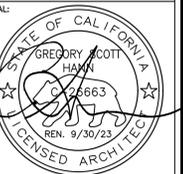


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APN: 479-631-010
NWC ALESSANDRO BLVD. & LASSELLE ST.
MORENO VALLEY, CA 92553

ARCHITECT OF RECORD:
GREGORY S. HANN, AIA
5111 N. MAIN STREET
LAKE ELSINORE, CA 92530
TEL: 951-696-1490
CELL: 951-809-7601
E-MAIL: ghann@empiregr.biz



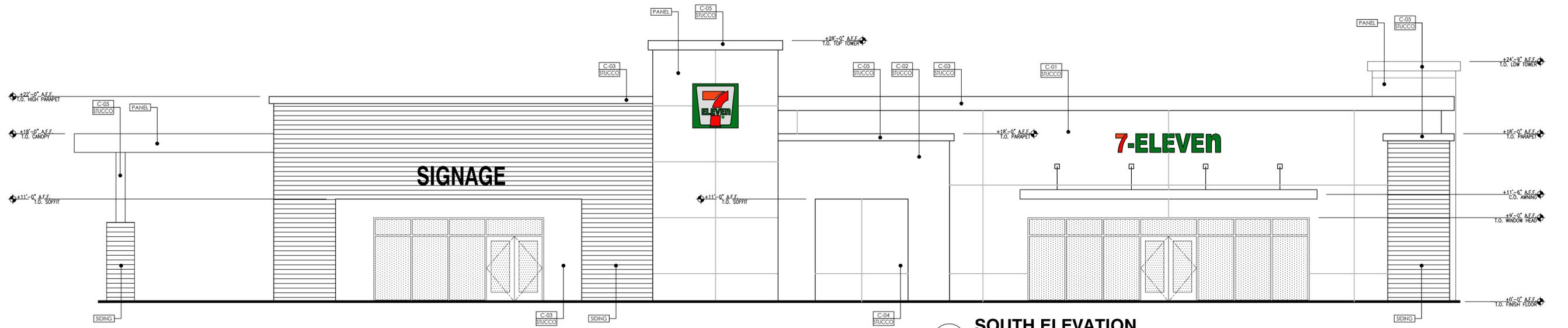
Date: MAY 20, 2020
Project Number: EDG#04360

NO.	DATE	REVISION DESCRIPTION
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1-1-21		2ND PC COMMENTS
1-1-22		3RD PC COMMENTS
4-15-22		4TH PC COMMENTS
6-3-22		TRAFFIC ORLE TRANSPORTATION COMMENTS
7-14-22		5TH PC COMMENTS

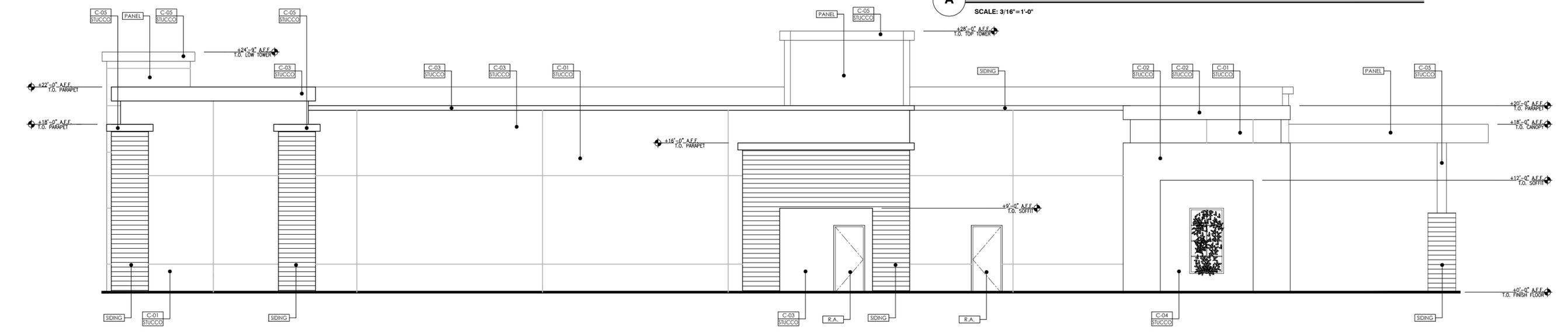
DESIGNED BY: GH
CHECKED BY: GH
DRAWN BY: AH
DRAWING TITLE:

C-STORE AND QSR ELEVATIONS

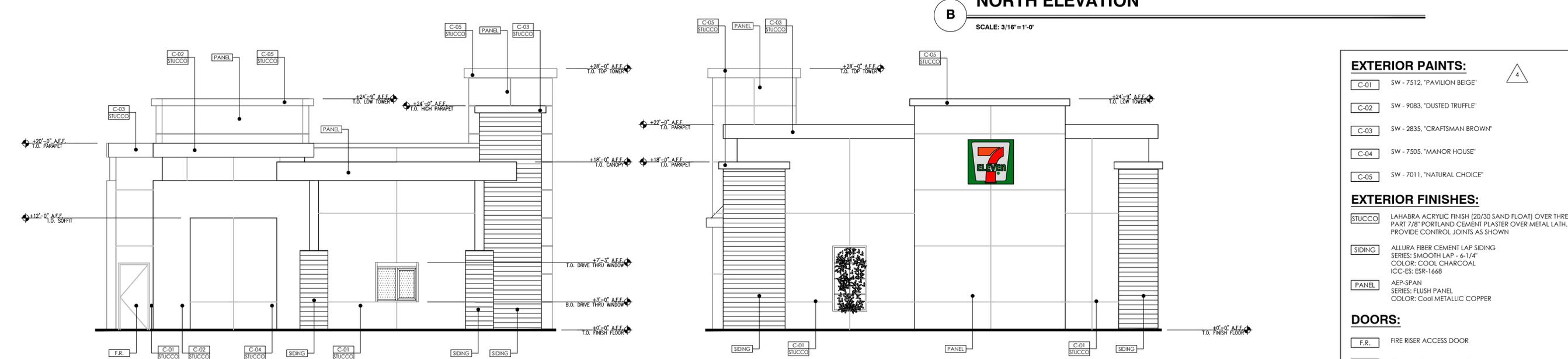
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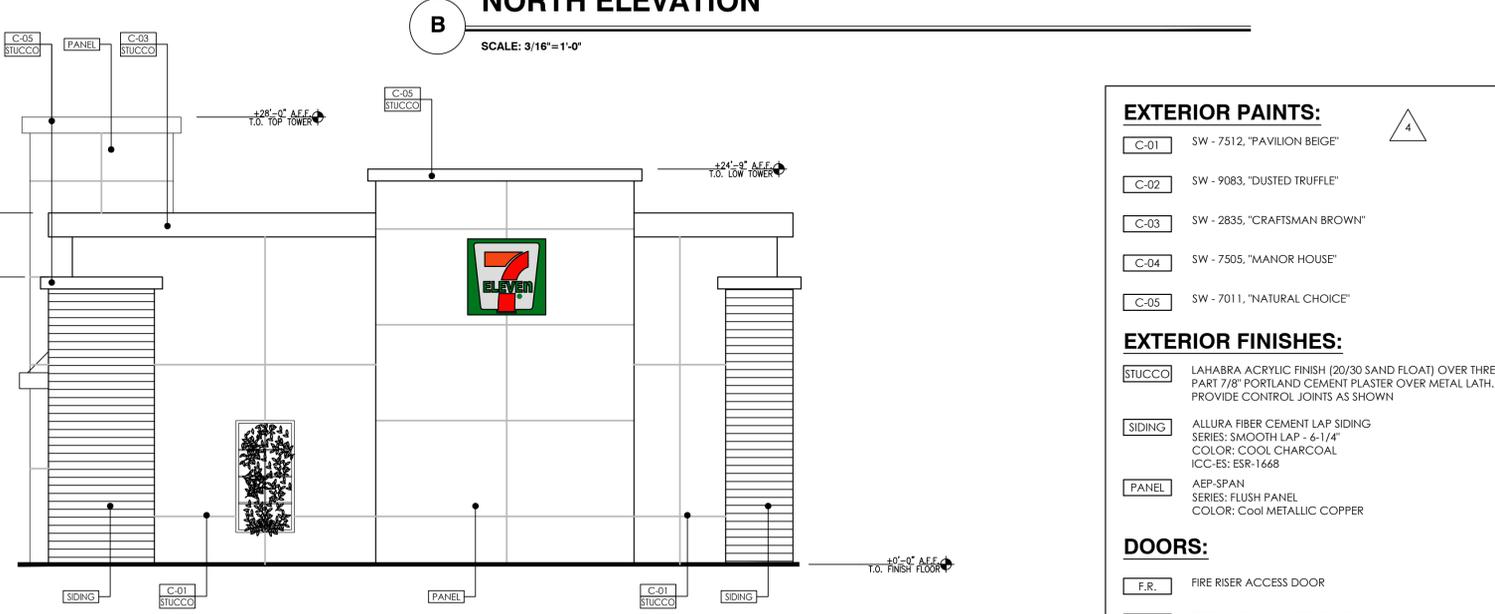
A SOUTH ELEVATION
SCALE: 3/16"=1'-0"



B NORTH ELEVATION
SCALE: 3/16"=1'-0"



C WEST ELEVATION
SCALE: 3/16"=1'-0"



D EAST ELEVATION
SCALE: 3/16"=1'-0"

EXTERIOR PAINTS:

- C-01 SW - 7512, "PAVILION BEIGE"
- C-02 SW - 9083, "DUSTED TRUFFLE"
- C-03 SW - 2835, "CRAFTSMAN BROWN"
- C-04 SW - 7505, "MANOR HOUSE"
- C-05 SW - 7011, "NATURAL CHOICE"

EXTERIOR FINISHES:

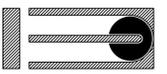
- STUCCO LAHABRA ACRYLIC FINISH (20/30 SAND FLOAT) OVER THREE PART 7/8" PORTLAND CEMENT PLASTER OVER METAL LATH. PROVIDE CONTROL JOINTS AS SHOWN
- SIDING ALLURA FIBER CEMENT LAP SIDING SERIES: SMOOTH LAP - 6-1/4" COLOR: COOL CHARCOAL ICC-ES: ESR-1668
- PANEL AEP-SPAN SERIES: FLUSH PANEL COLOR: Cool METALLIC COPPER

DOORS:

- F.R. FIRE RISER ACCESS DOOR
- R.A. REAR BUILDING ACCESS DOOR

GENERAL NOTES:

1. SIGNS ARE NOT PART OF THIS REVIEW.



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LLC**

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MORENO VALLEY, CA 92553

ARCHITECT OF RECORD:
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511 N MAIN STREET
LAKE ELSINORE, CA 92530
TEL: 951-696-1490
CELL: 951-809-17601
E-MAIL: ghann@empirgr.biz



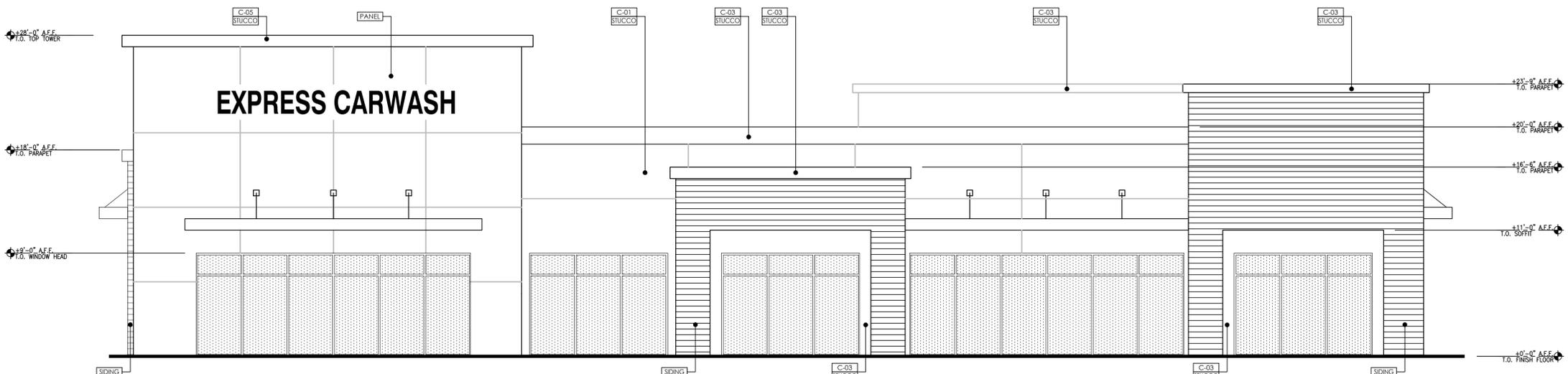
Date: MAY 20, 2020

NO.	DATE	REVISION DESCRIPTION
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1-1-21		2ND PC COMMENTS
1-1-22		3RD PC COMMENTS
4-15-22		4TH PC COMMENTS
6-3-22		TRAFFIC ORLE TRANSPORTATION COMMENTS
7-14-22		5TH PC COMMENTS

DESIGNED BY: GH
CHECKED BY: GH
DRAWN BY: AH
DRAWING TITLE:

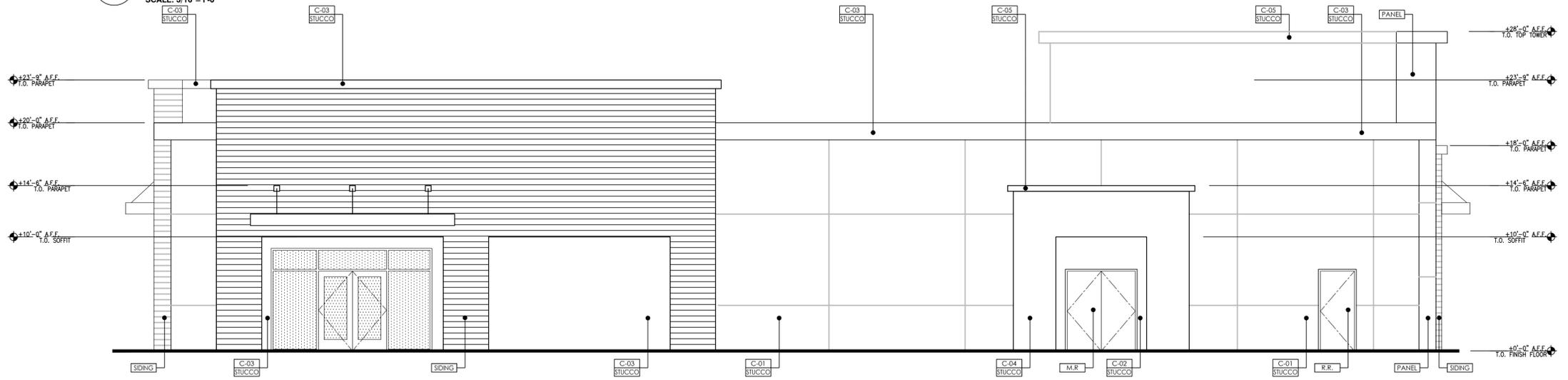
EXPRESS CAR WASH ELEVATIONS

SHEET NO:



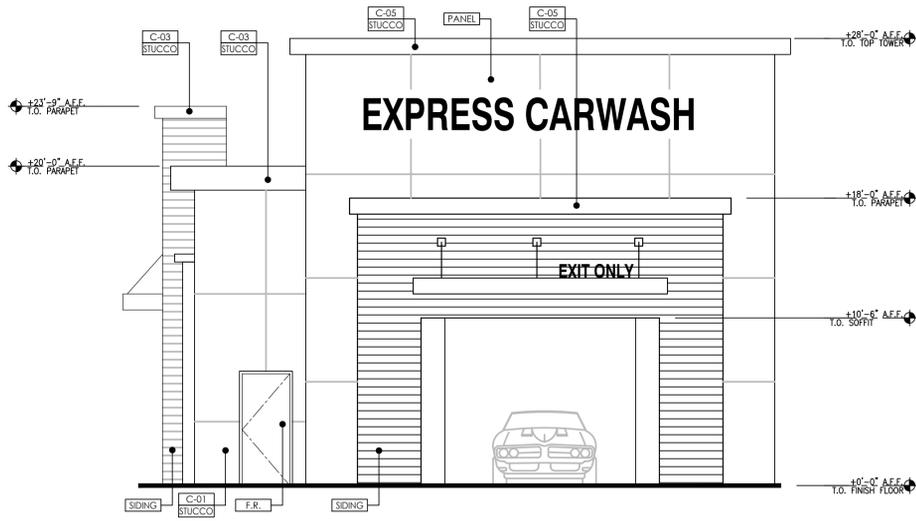
WEST ELEVATION

SCALE: 3/16"=1'-0"



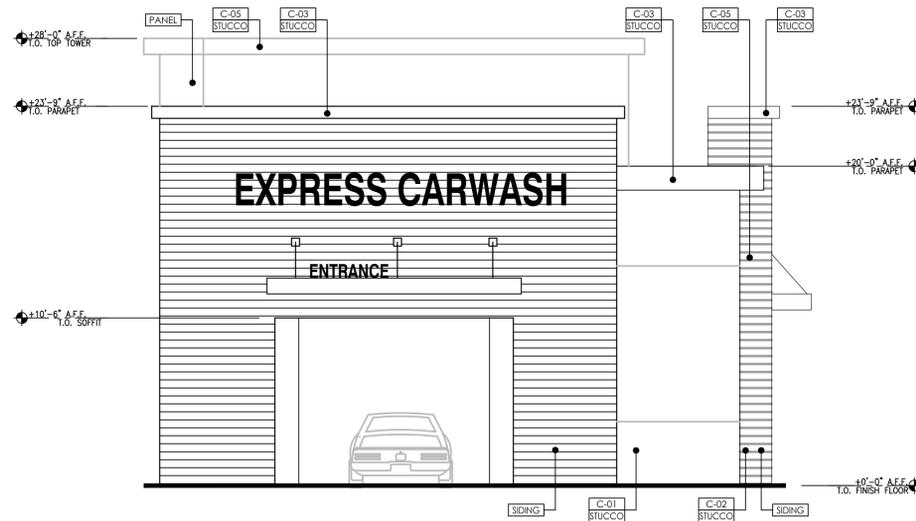
EAST ELEVATION

SCALE: 3/16"=1'-0"



SOUTH ELEVATION

SCALE: 3/16"=1'-0"



NORTH ELEVATION

SCALE: 3/16"=1'-0"

EXTERIOR PAINTS:

- C-01 SW - 7512, "PAVILION BEIGE"
- C-02 SW - 9083, "DUSTED TRUFFLE"
- C-03 SW - 2835, "CRAFTSMAN BROWN"
- C-04 SW - 7505, "MANOR HOUSE"
- C-05 SW - 7011, "NATURAL CHOICE"

EXTERIOR FINISHES:

- STUCCO LAHABRA ACRYLIC FINISH (20/30 SAND FLOAT) OVER THREE PART 7/8" PORTLAND CEMENT PLASTER OVER METAL LATH. PROVIDE CONTROL JOINTS AS SHOWN
- SIDING ALLURA FIBER CEMENT LAP SIDING SERIES: SMOOTH LAP - 6-1/4" COLOR: COOL CHARCOAL ICC-ES: ESR-1668
- PANEL AEP-SPAN SERIES: FLUSH PANEL COLOR: Cool METALLIC COPPER

DOORS

- F.R. FIRE RISER ACCESS DOOR
- R.R. RESTROOM DOOR
- M.R. MECHANICAL ROOM DOOR

GENERAL NOTES:

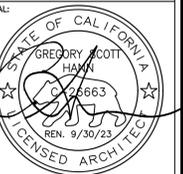
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 LAKE ELSINORE, CA 92530
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 CELL: 951-809-7761
 E-MAIL: ghann@empiredg.biz



Date: MAY 20, 2020
 Project Number: EDG#04360

NO.	DATE	REVISION DESCRIPTION
3-4-20		1ST CIP COMMENTS PER F0M9-20A DATED 3/5/19
1-1-21		2ND PC COMMENTS
1-1-22		3RD PC COMMENTS
4-15-22		4TH PC COMMENTS
6-3-22		TRAFFIC ORLE TRANSPORTATION COMMENTS
7-14-22		5TH PC COMMENTS

DESIGNED BY: GH
 CHECKED BY: GH
 DRAWN BY: AH
 DRAWING TITLE:

DRIVE THRU AND RETAIL ELEVATIONS

SHEET NO:

A 2.2

EXTERIOR PAINTS:

- C-01 SW - 7512, "PAVILION BEIGE"
- C-02 SW - 9083, "DUSTED TRUFFLE"
- C-03 SW - 2835, "CRAFTSMAN BROWN"
- C-04 SW - 7505, "MANOR HOUSE"
- C-05 SW - 7011, "NATURAL CHOICE"

EXTERIOR FINISHES:

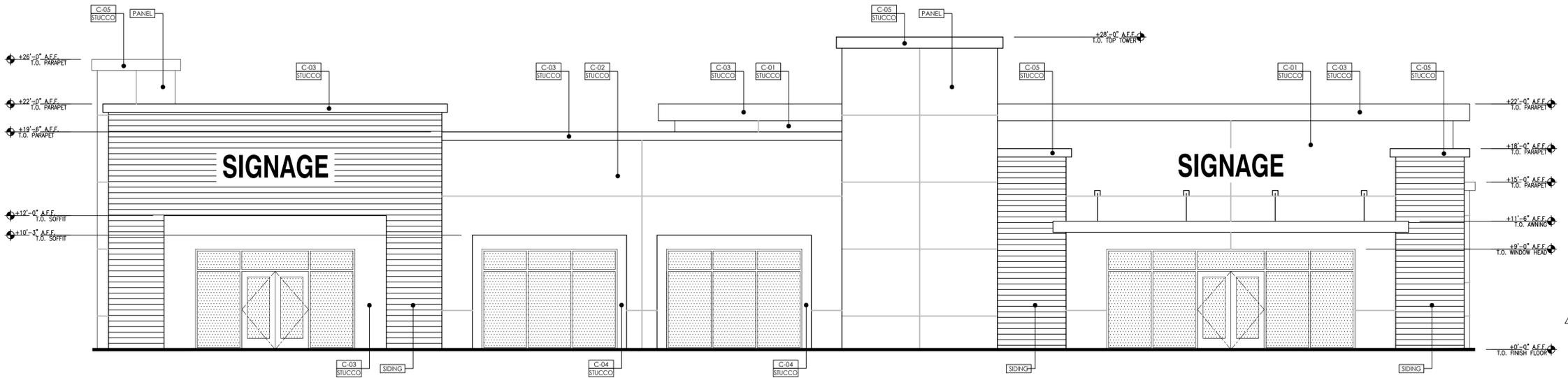
- STUCCO LAHABRA ACRYLIC FINISH (20/30 SAND FLOAT) OVER THREE PART 7/8" PORTLAND CEMENT PLASTER OVER METAL LATH. PROVIDE CONTROL JOINTS AS SHOWN
- SIDING ALLURA FIBER CEMENT LAP SIDING SERIES: SMOOTH LAP - 6-1/4" COLOR: COOL CHARCOAL ICC-ES: ESR-1668
- PANEL AEP-SPAN SERIES: FLUSH PANEL COLOR: Cool METALLIC COPPER

DOORS

- F.R. FIRE RISER ACCESS DOOR
- R.A. REAR BUILDING ACCESS DOOR

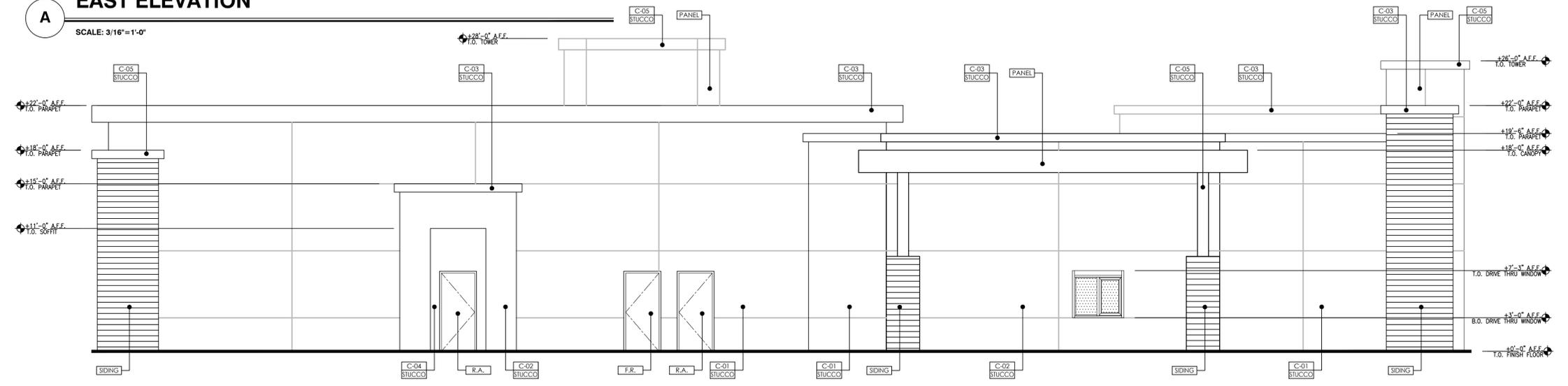
GENERAL NOTES:

1. SIGNS ARE NOT PART OF THIS REVIEW.



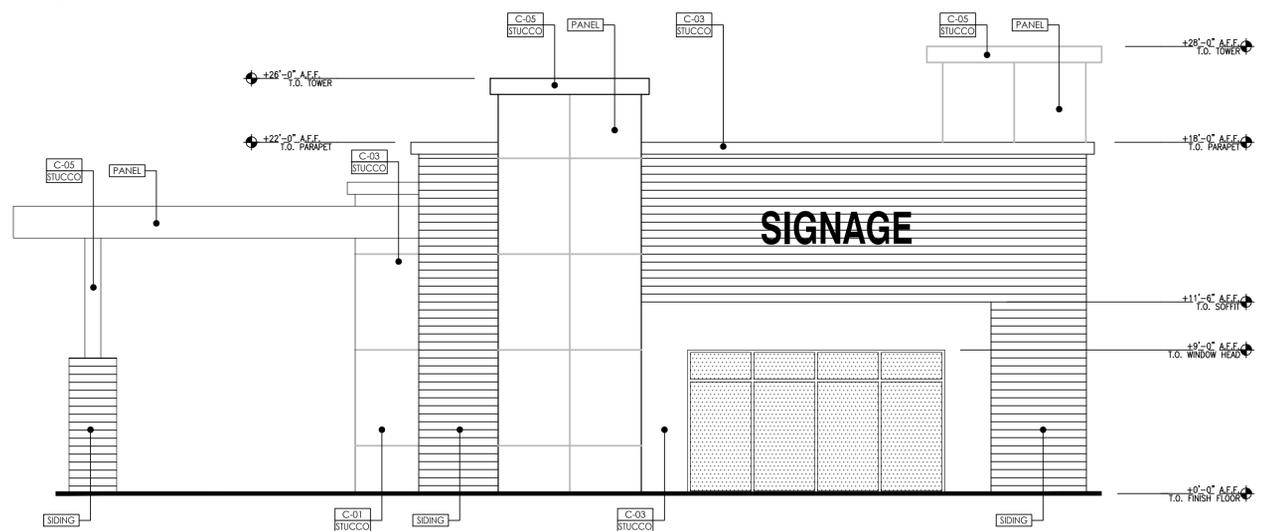
A EAST ELEVATION

SCALE: 3/16"=1'-0"



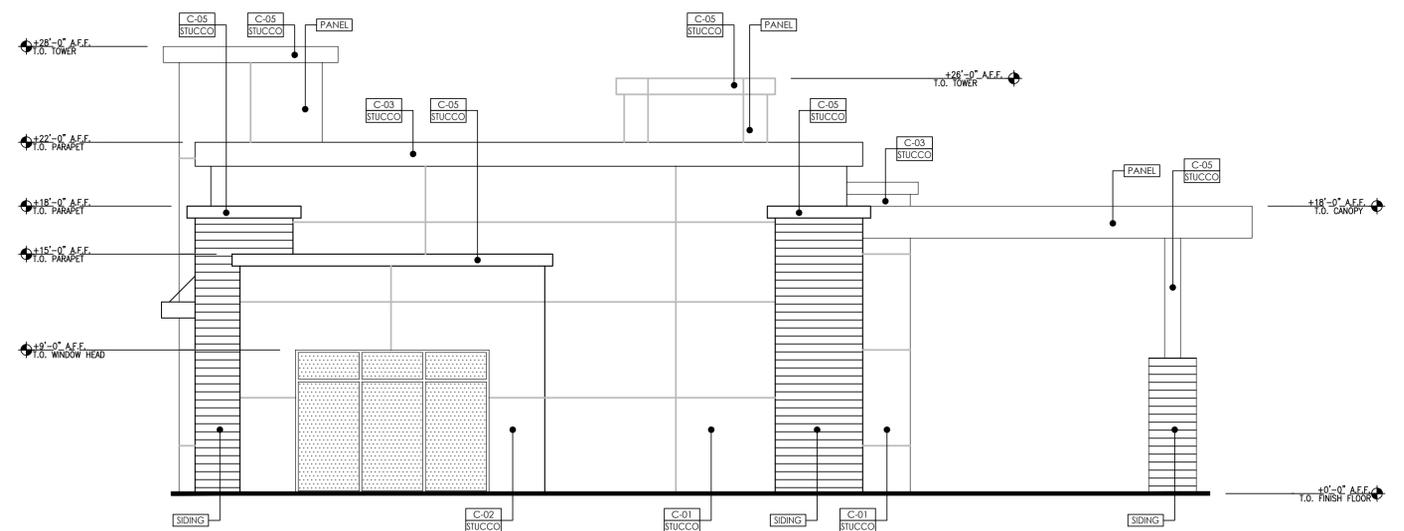
B WEST ELEVATION

SCALE: 3/16"=1'-0"



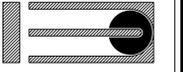
C SOUTH ELEVATION

SCALE: 3/16"=1'-0"



D NORTH ELEVATION

SCALE: 3/16"=1'-0"



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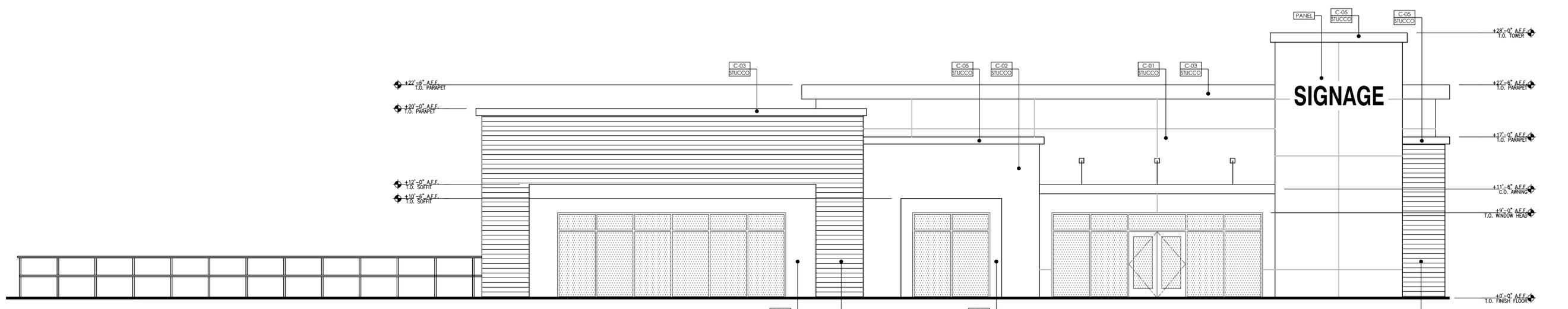


Date: MAY 20, 2020
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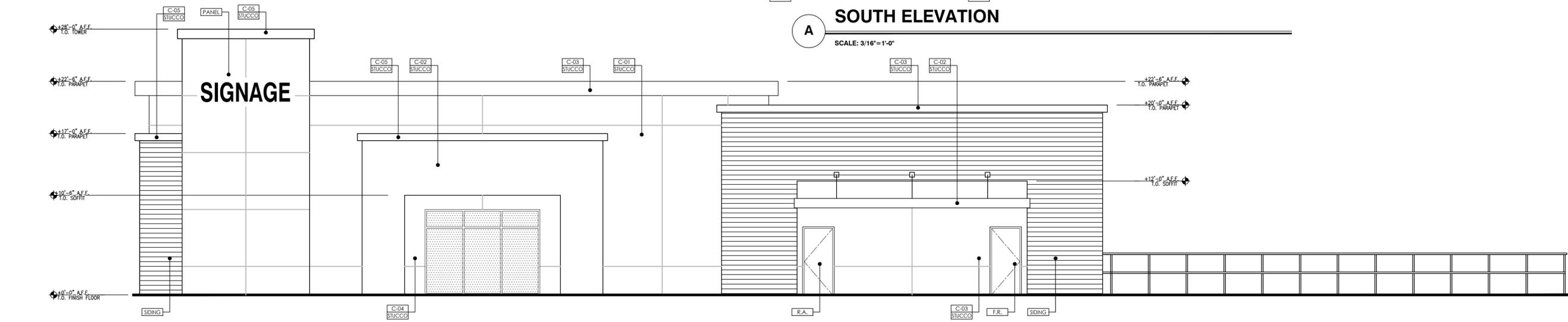
NO.	DATE	REVISION DESCRIPTION
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1-1-21		2ND PC COMMENTS
1-1-22		3RD PC COMMENTS
4-15-22		4TH PC COMMENTS
6-3-22		TRAFFIC ORLE TRANSPORTATION COMMENTS
7-14-22		5TH PC COMMENTS

DESIGNED BY: GH
CHECKED BY: GH
DRAWN BY: AH
DRAWING TITLE:

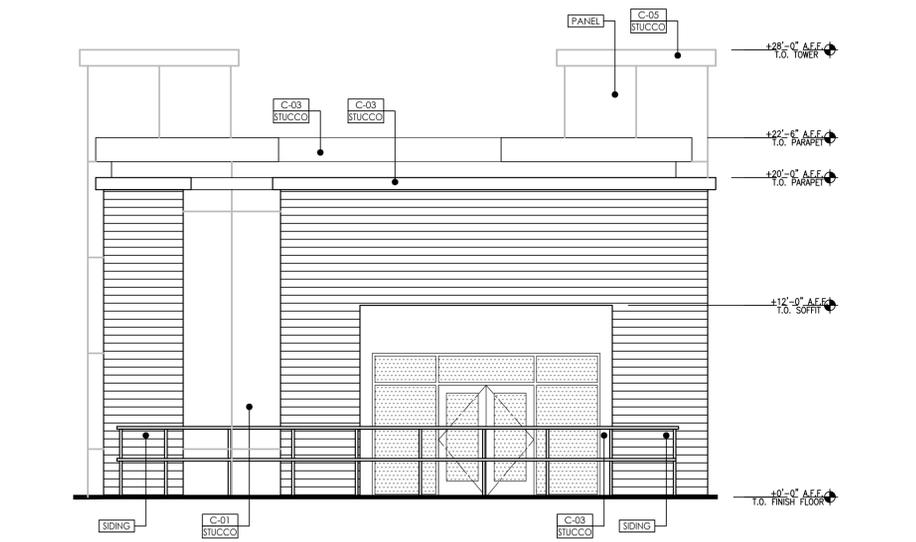
SIT DOWN DINING ELEVATIONS
SHEET NO:



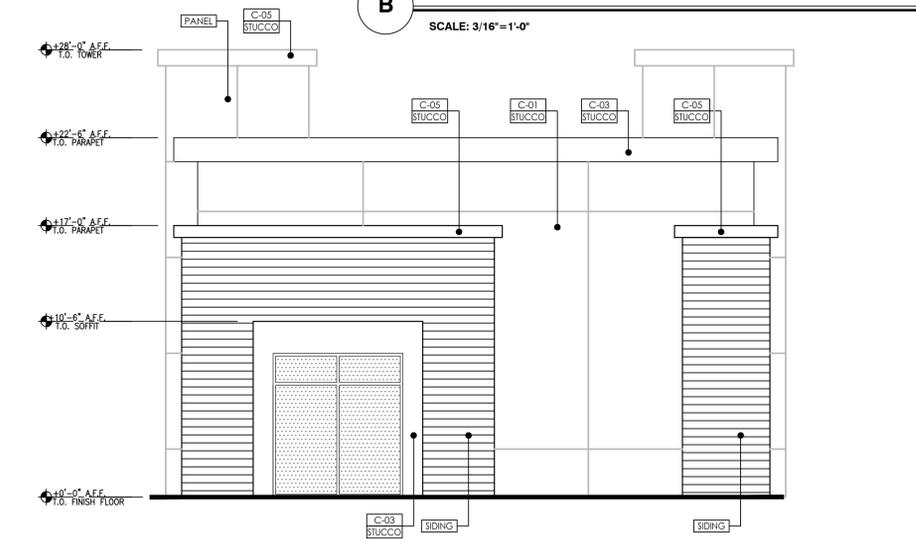
A SOUTH ELEVATION
SCALE: 3/16"=1'-0"



B NORTH ELEVATION
SCALE: 3/16"=1'-0"



C WEST ELEVATION
SCALE: 3/16"=1'-0"



D EAST ELEVATION
SCALE: 3/16"=1'-0"

EXTERIOR PAINTS:

- C-01 SW - 7512, "PAVILION BEIGE"
- C-02 SW - 9083, "DUSTED TRUFFLE"
- C-03 SW - 2835, "CRAFTSMAN BROWN"
- C-04 SW - 7505, "MANOR HOUSE"
- C-05 SW - 7011, "NATURAL CHOICE"

EXTERIOR FINISHES:

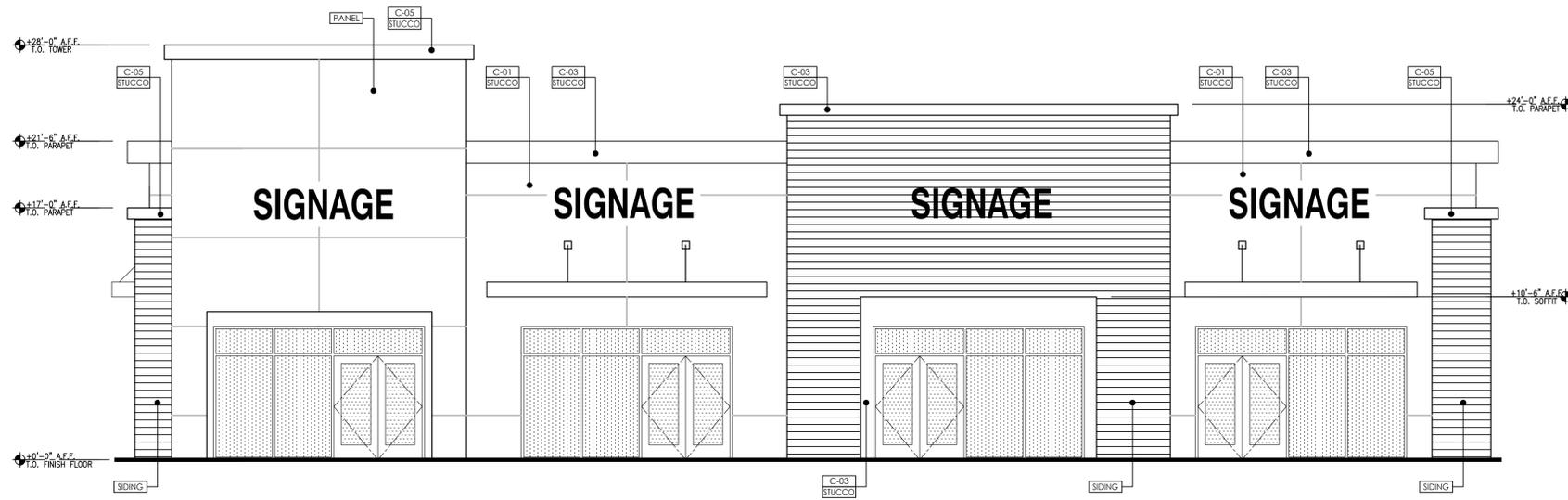
- STUCCO LAHABRA ACRYLIC FINISH (20/30 SAND FLOAT) OVER THREE PART 7/8" PORTLAND CEMENT PLASTER OVER METAL LATH. PROVIDE CONTROL JOINTS AS SHOWN
- SIDING ALLURA FIBER CEMENT LAP SIDING SERIES: SMOOTH LAP - 6-1/4" COLOR: COOL CHARCOAL ICC-ES: ESR-1668
- PANEL AEP-SPAN SERIES: FLUSH PANEL COLOR: Cool METALLIC COPPER

DOORS

- F.R. FIRE RISER ACCESS DOOR
- R.A. REAR BUILDING ACCESS DOOR

GENERAL NOTES:

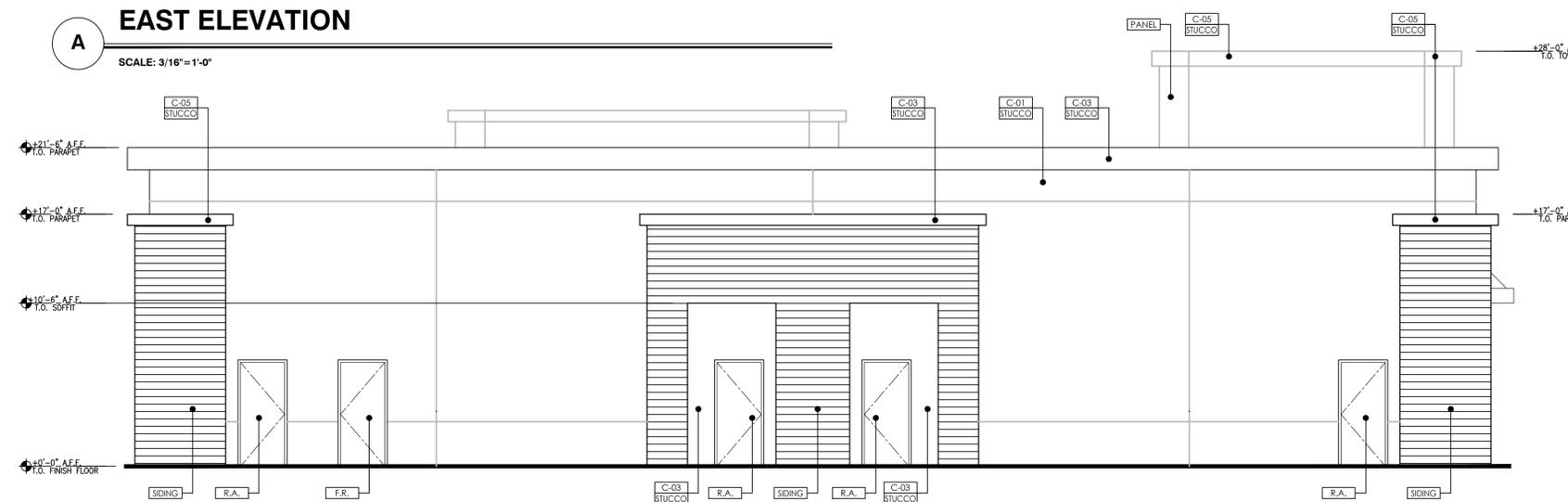
1. SIGNS ARE NOT PART OF THIS REVIEW.



EAST ELEVATION

A

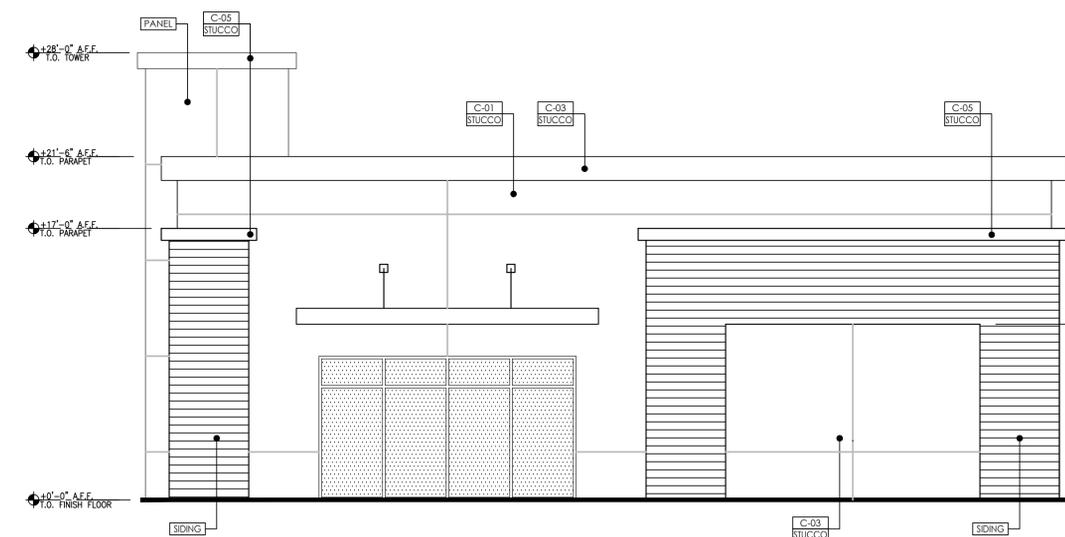
SCALE: 3/16"=1'-0"



WEST ELEVATION

B

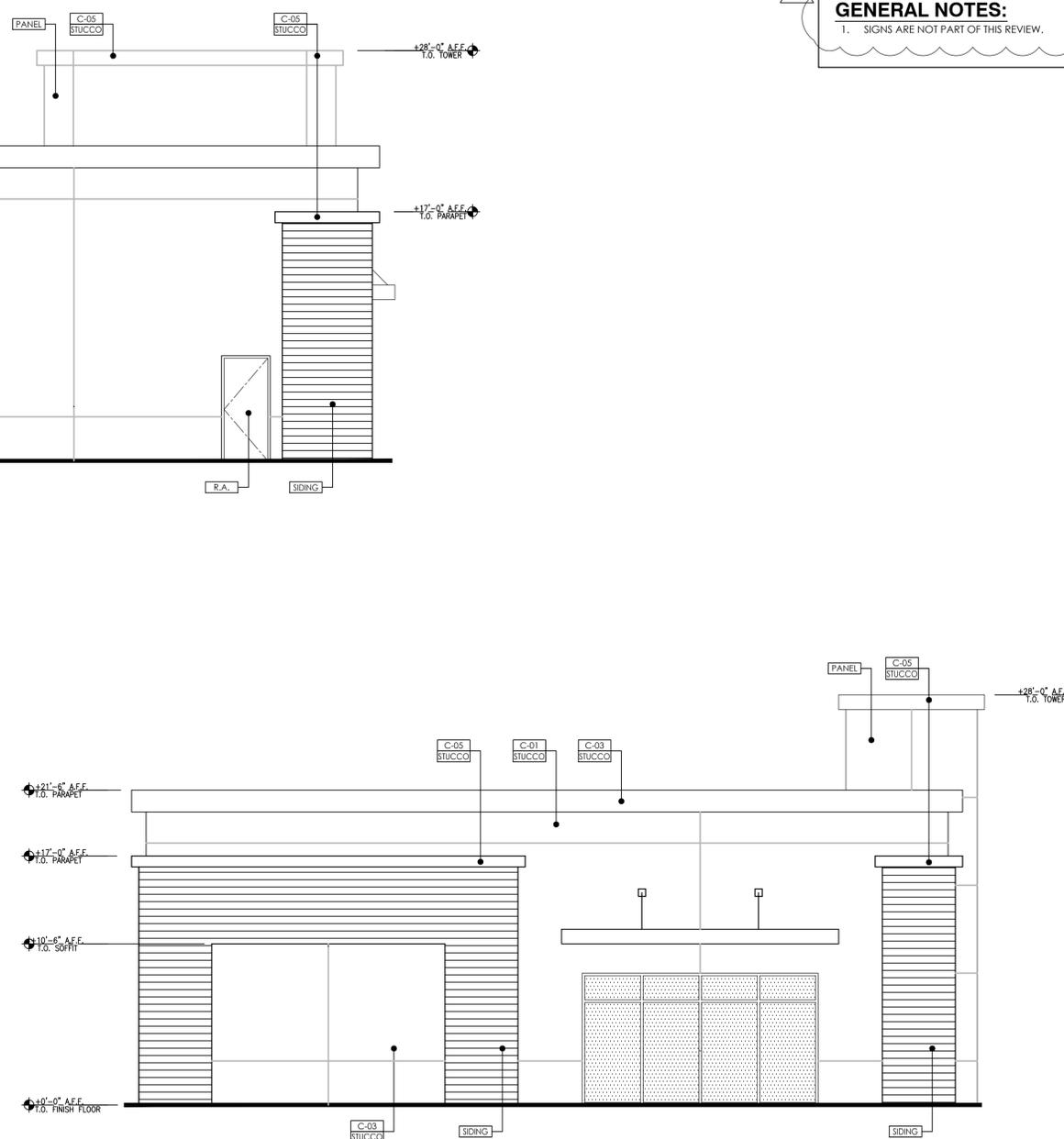
SCALE: 3/16"=1'-0"



NORTH ELEVATION

C

SCALE: 3/16"=1'-0"



SOUTH ELEVATION

D

SCALE: 3/16"=1'-0"

EXTERIOR PAINTS:

- C-01 SW - 7512, "PAVILION BEIGE"
- C-02 SW - 9083, "DUSTED TRUFFLE"
- C-03 SW - 2835, "CRAFTSMAN BROWN"
- C-04 SW - 7505, "MANOR HOUSE"
- C-05 SW - 7011, "NATURAL CHOICE"

EXTERIOR FINISHES:

- STUCCO LAHABRA ACRYLIC FINISH (20/30 SAND FLOAT) OVER THREE PART 7/8" PORTLAND CEMENT PLASTER OVER METAL LATH. PROVIDE CONTROL JOINTS AS SHOWN
- SIDING ALLURA FIBER CEMENT LAP SIDING SERIES: SMOOTH LAP - 6-1/4" COLOR: COOL CHARCOAL ICC-ES: ESR-1668
- PANEL AEP-SPAN SERIES: FLUSH PANEL COLOR: Cool METALLIC COPPER

DOORS

- F.R. FIRE RISER ACCESS DOOR
- R.A. REAR BUILDING ACCESS DOOR

GENERAL NOTES:

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NORTHWEST MORENO PROPERTIES LLC

NORTHWEST COMMERCIAL CENTER
APN: 479-631-010
NWC ALESSANDRO BLVD. & LASSELLE ST.
MORENO VALLEY, CA 92553

ARCHITECT OF RECORD:
GREGORY S. HANN, AIA
511 N MAIN STREET
LAKE ELSINORE, CA 92530
TEL: 951-696-1490
CELL: 951-809-7661
E-MAIL: ghann@empiregr.biz



Date: MAY 20, 2020

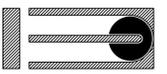
Project Number: EDG#04360

NO.	DATE	REVISION DESCRIPTION
1	3-4-20	1ST CIP COMMENTS PER FONR-20A DATED 3/5/19
2	1-1-21	2ND PC COMMENTS
3	1-1-22	3RD PC COMMENTS
4	4-15-22	4TH PC COMMENTS
5	6-3-22	TRAFFIC ORLE TRANSPORTATION COMMENTS
6	7-14-22	5TH PC COMMENTS

DESIGNED BY: GH
CHECKED BY: GH
DRAWN BY: AH
DRAWING TITLE:

OFFICE ELEVATIONS

SHEET NO:



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MORENO VALLEY, CA 92553

ARCHITECT OF RECORD:
GREGORY S. HANN, AIA
511 N MAIN STREET
LAKE ELSINORE, CA 92530
TEL: 951-696-1490
CELL: 951-809-7601
E-MAIL: ghann@empiregr.biz

SEAL:



Date: MAY 20, 2020
Project Number: EDG#04360

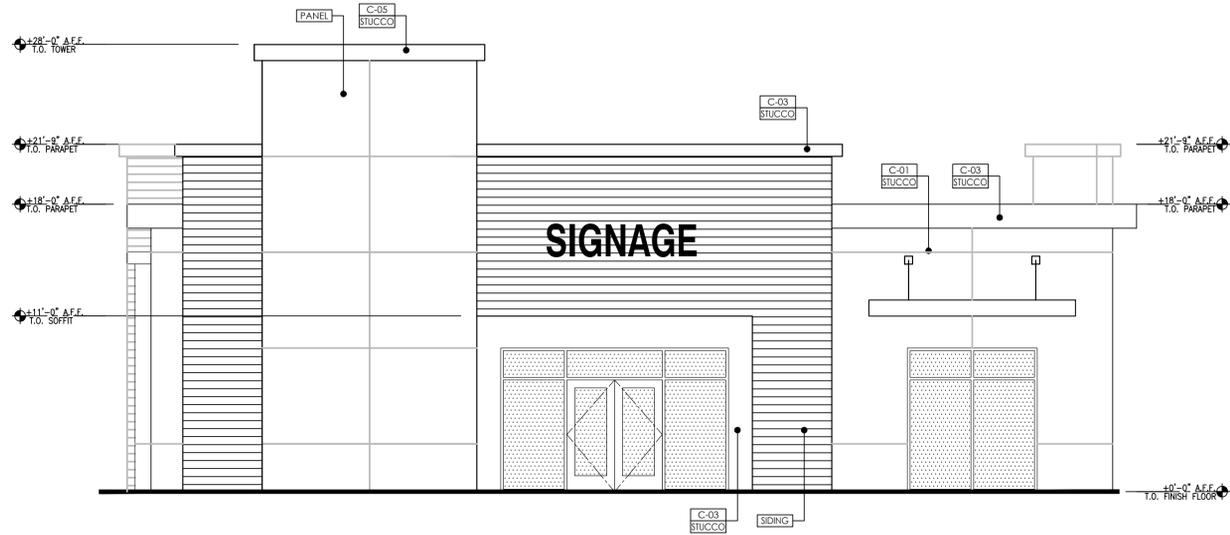
NO.	DATE	REVISION DESCRIPTION
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1-1-21		2ND PC COMMENTS
1-1-22		3RD PC COMMENTS
4-15-22		4TH PC COMMENTS
6-3-22		TRAFFIC ORACLE TRANSPORTATION COMMENTS
7-14-22		5TH PC COMMENTS

DESIGNED BY: GH
CHECKED BY: GH
DRAWN BY: AH
DRAWING TITLE:

**BANK
ELEVATIONS**

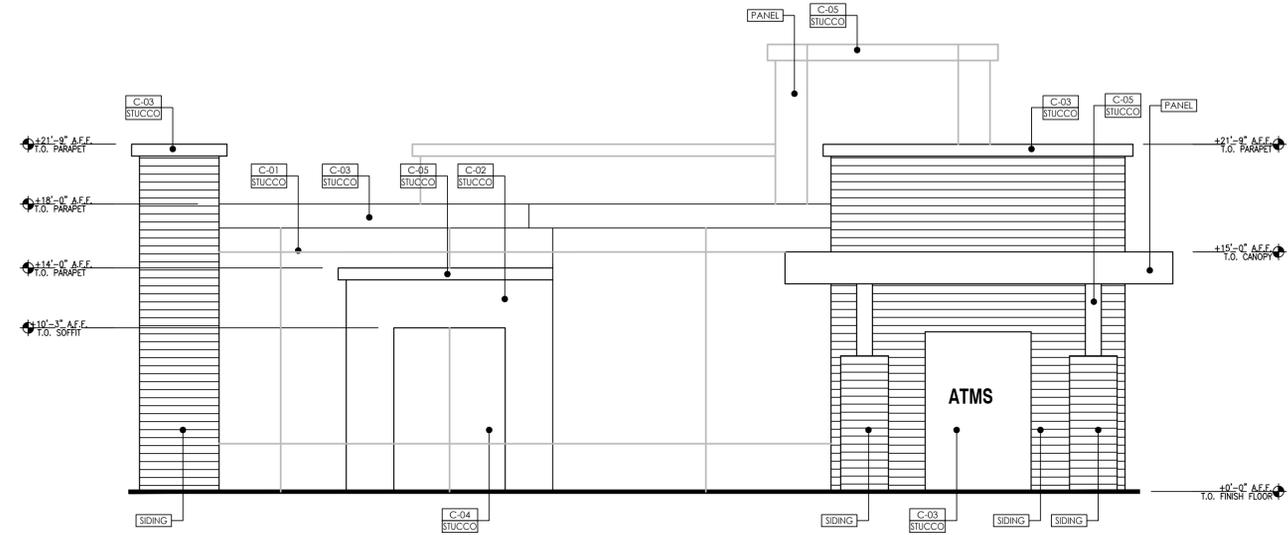
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A 2.5



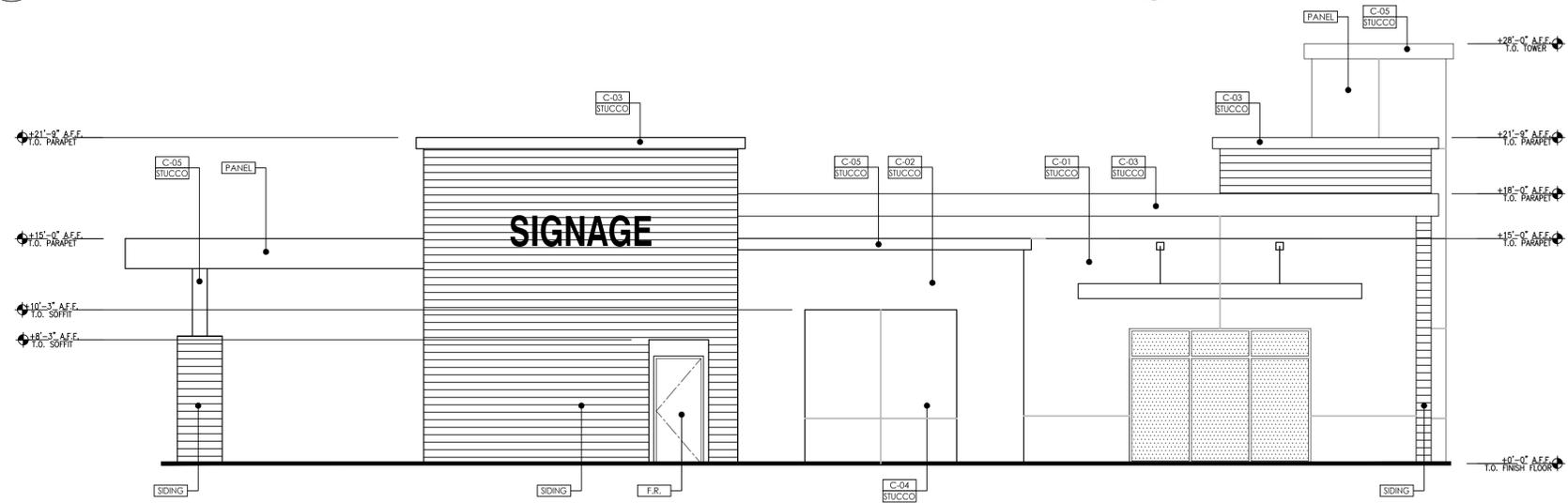
A WEST ELEVATION

SCALE: 3/16"=1'-0"



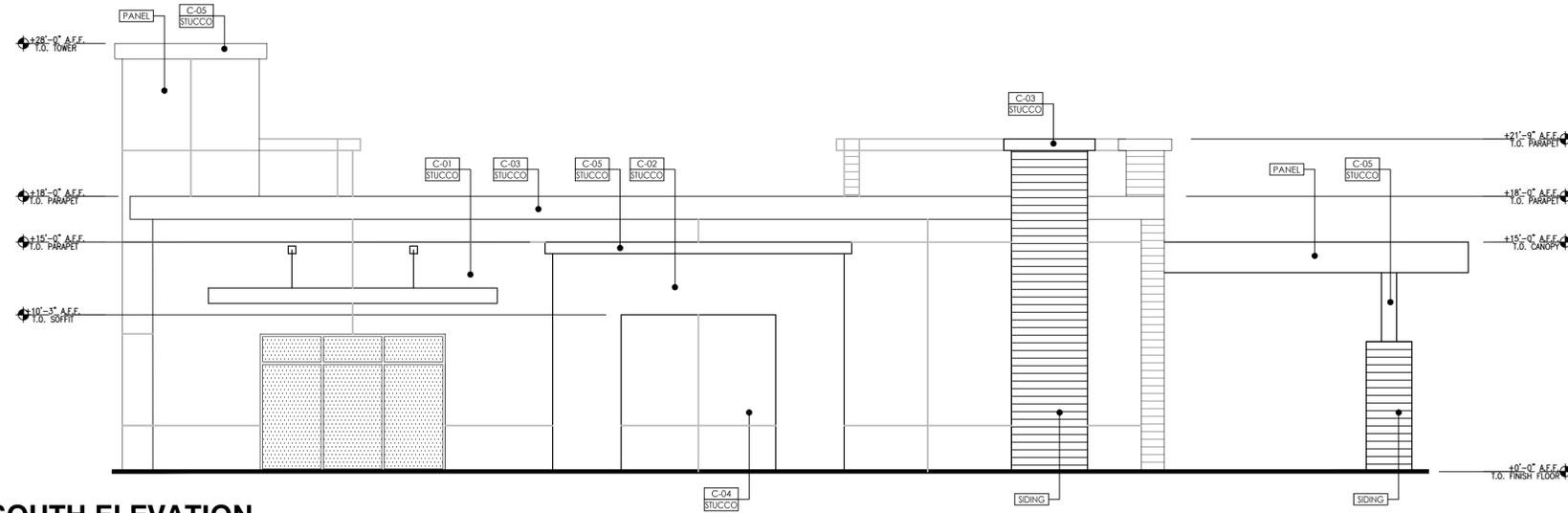
B EAST ELEVATION

SCALE: 3/16"=1'-0"



C NORTH ELEVATION

SCALE: 3/16"=1'-0"



D SOUTH ELEVATION

SCALE: 3/16"=1'-0"

EXTERIOR PAINTS:

- C-01 SW - 7512, "PAVILION BEIGE"
- C-02 SW - 9083, "DUSTED TRUFFLE"
- C-03 SW - 2835, "CRAFTSMAN BROWN"
- C-04 SW - 7505, "MANOR HOUSE"
- C-05 SW - 7011, "NATURAL CHOICE"

EXTERIOR FINISHES:

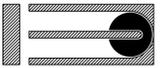
- STUCCO LAHABRA ACRYLIC FINISH (20/30 SAND FLOAT) OVER THREE PART 7/8" PORTLAND CEMENT PLASTER OVER METAL LATH. PROVIDE CONTROL JOINTS AS SHOWN
- SIDING ALLURA FIBER CEMENT LAP SIDING SERIES: SMOOTH LAP - 6-1/4" COLOR: COOL CHARCOAL ICC-ES: ESR-1668
- PANEL AEP-SPAN SERIES: FLUSH PANEL COLOR: COOL METALLIC COPPER

DOORS

- F.R. FIRE RISER ACCESS DOOR

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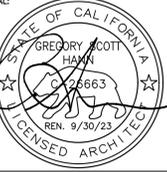
CLIENT:

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MORENO
PROPERTIES
LLC**

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511 N. MAIN STREET
LAKE ELSINORE, CA 92530
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CELL: 951-809-7661
E-MAIL: ghann@empiregr.biz

SEAL:



Date: MAY 20, 2020

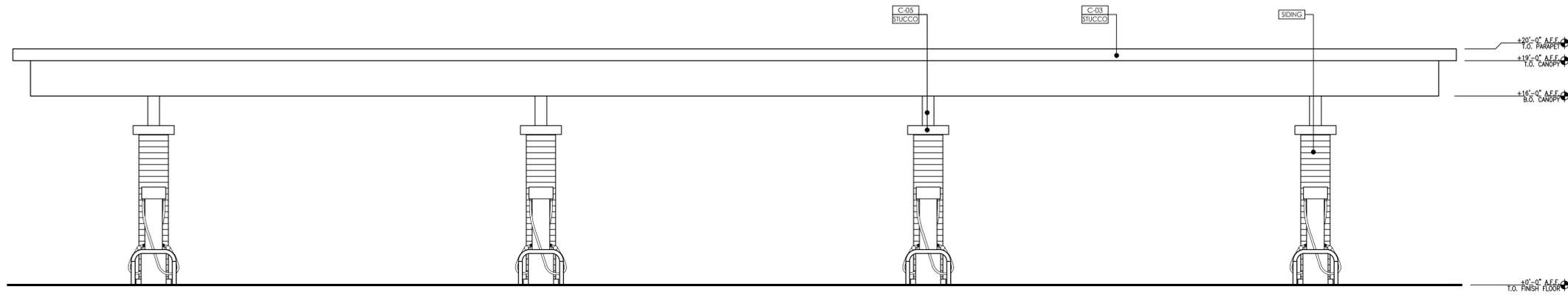
Project Number: EDG#04360

NO.	DATE	REVISION DESCRIPTION
3-4-20		1ST CIP COMMENTS PER FOMI-20A DATED 3/5/19
1-1-21		2ND PC COMMENTS
1-1-22		3RD PC COMMENTS
4-15-22		4TH PC COMMENTS
6-3-22		TRAFFIC ORLE TRANSPORTATION COMMENTS
7-14-22		5TH PC COMMENTS

DESIGNED BY: GH
CHECKED BY: GH
DRAWN BY: AH
DRAWING TITLE:

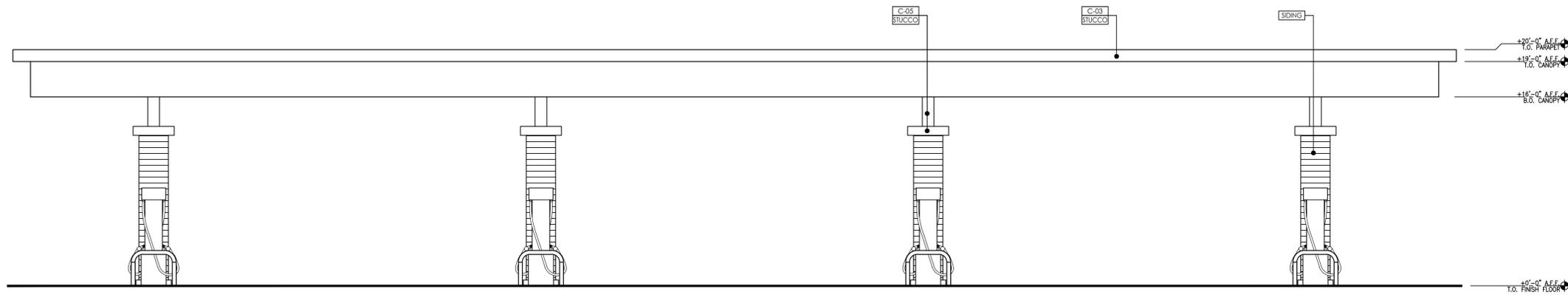
CANOPY
ELEVATIONS

SHEET NO:



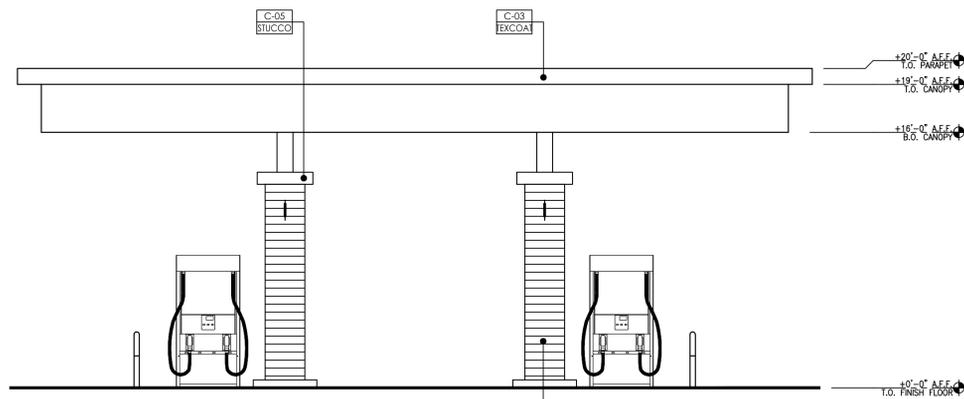
A NORTH ELEVATION

SCALE: 3/16"=1'-0"



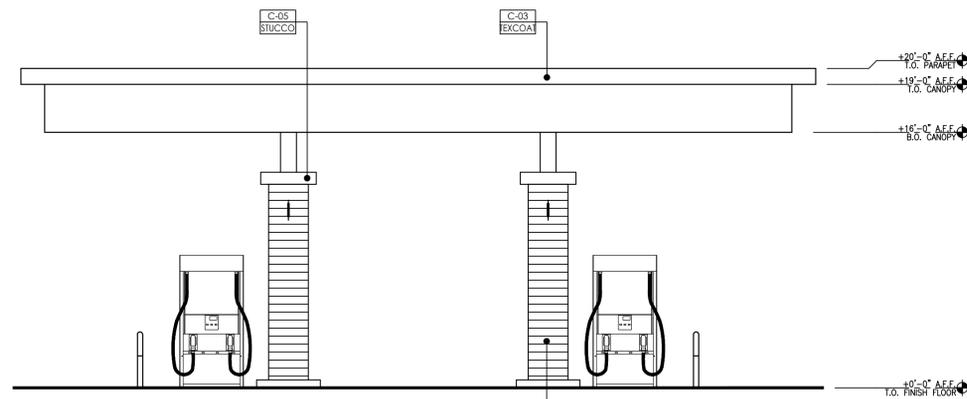
B SOUTH ELEVATION

SCALE: 3/16"=1'-0"



C EAST ELEVATION

SCALE: 3/16"=1'-0"



D WEST ELEVATION

SCALE: 3/16"=1'-0"

EXTERIOR PAINTS:

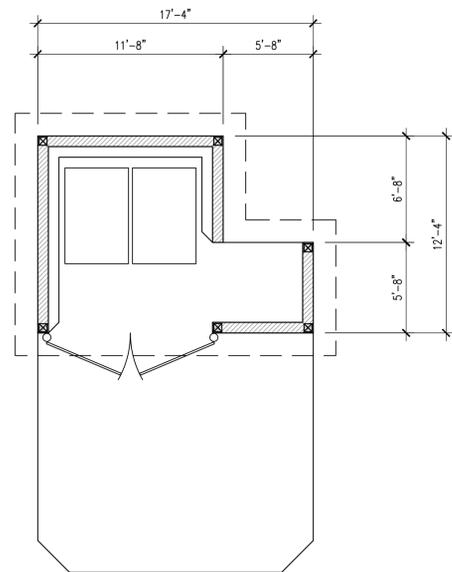
- C-01 SW - 7512, "PAVILION BEIGE"
- C-02 SW - 9083, "DUSTED TRUFFLE"
- C-03 SW - 2835, "CRAFTSMAN BROWN"
- C-04 SW - 7505, "MANOR HOUSE"
- C-05 SW - 7011, "NATURAL CHOICE"

EXTERIOR FINISHES:

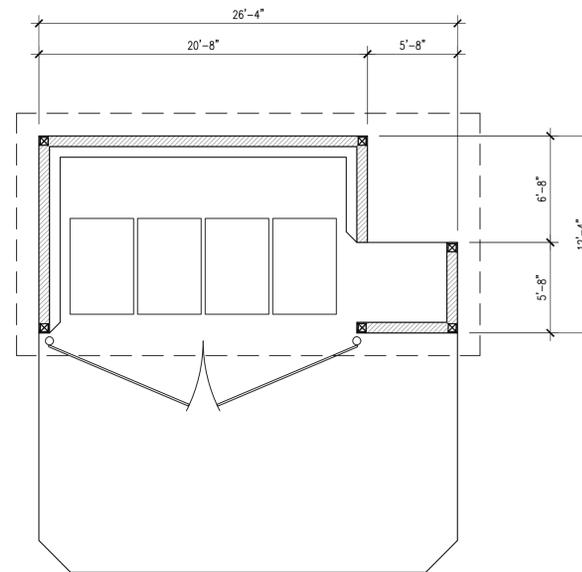
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- PANEL AEP-SPAN SERIES: FLUSH PANEL COLOR: COOL METALLIC COPPER

GENERAL NOTES:

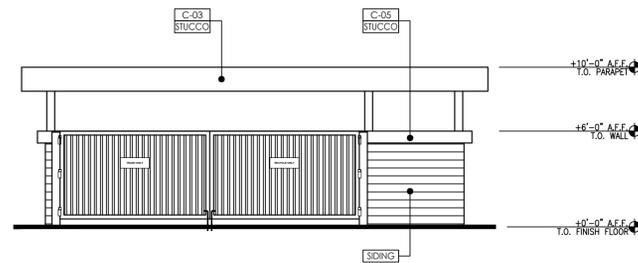
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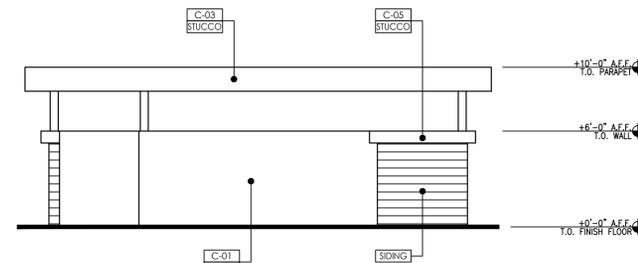
A FLOOR PLAN
SCALE: 3/16"=1'-0"



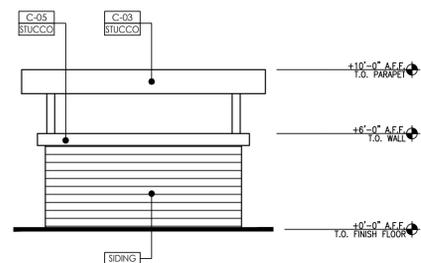
B FLOOR PLAN
SCALE: 3/16"=1'-0"



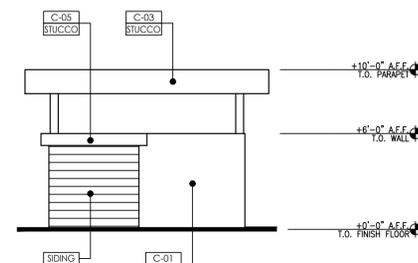
1 TYPICAL FRONT ELEVATION
SCALE: 3/16"=1'-0"



2 TYPICAL REAR ELEVATION
SCALE: 3/16"=1'-0"



3 TYPICAL SIDE ELEVATION
SCALE: 3/16"=1'-0"



4 TYPICAL SIDE ELEVATION
SCALE: 3/16"=1'-0"

EXTERIOR PAINTS:

- C-01 SW - 7512, "PAVILION BEIGE"
- C-02 SW - 9083, "DUSTED TRUFFLE"
- C-03 SW - 2835, "CRAFTSMAN BROWN"
- C-04 SW - 7505, "MANOR HOUSE"
- C-05 SW - 7011, "NATURAL CHOICE"

EXTERIOR FINISHES:

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MORENO VALLEY, CA 92553

ARCHITECT OF RECORD:
GREGORY S. HANN, AIA
511 N. MAIN STREET
LAKE ELSINORE, CA 92530
TEL: 951-696-1490
CELL: 951-809-7651
E-MAIL: ghann@empiregr.biz



Date: MAY 20, 2020

Project Number: EDG#04360

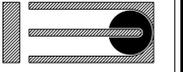
NO.	DATE	REVISION DESCRIPTION
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2	1-1-21	2ND PC COMMENTS
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4	4-15-22	4TH PC COMMENTS
5	6-3-22	TRAFFIC ORLE TRANSPORTATION COMMENTS
6	7-14-22	5TH PC COMMENTS

DESIGNED BY: GH
CHECKED BY: GH
DRAWN BY: AH

DRAWING TITLE:

TRASH ENCLOSURE PLAN

SHEET NO:

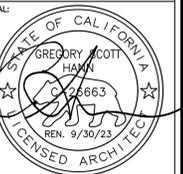


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MORENO VALLEY, CA 92555

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GREGORY S. HANN, AIA
511 N MAIN STREET
LAKE ELSINORE, CA 92530
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NO.	DATE	REVISION DESCRIPTION
3-4-20		1ST CIP COMMENTS PER FONIP-20A DATED 3/5/19
1-1-21		2ND PC COMMENTS
1-1-22		3RD PC COMMENTS
4-15-22		4TH PC COMMENTS
6-3-22		TRAFFIC CIRCLE TRANSPORTATION COMMENTS
7-14-22		5TH PC COMMENTS

DESIGNED BY: GH
CHECKED BY: GH
DRAWN BY: AH

DRAWING TITLE:
VACUUM AWNING PLAN

SHEET NO.:

KEYED NOTES:

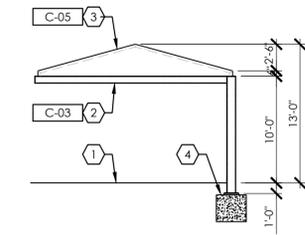
- ① LINE OF FINISH GRADE
- ② METAL FABRICATED AWNING
- ③ METAL SHADE COVER
- ④ FOUNDATION AND CONNECTION BY STRUCTURAL ENGINEER

EXTERIOR PAINTS:

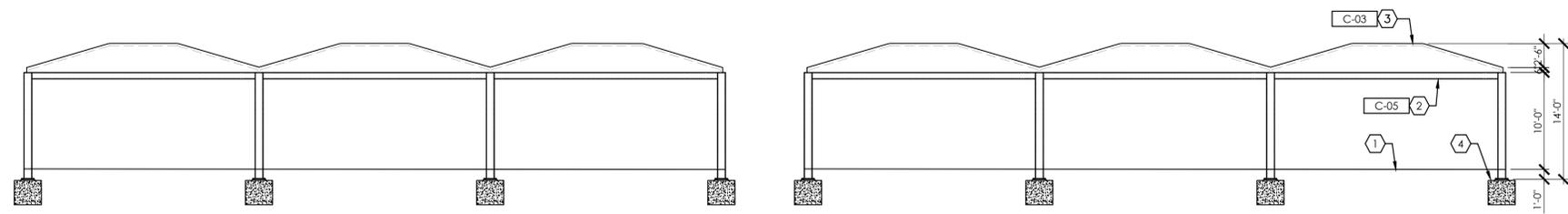
- C-03 SW - 2835, "CRAFTSMAN BROWN"
- C-05 SW - 7011, "NATURAL CHOICE"

GENERAL NOTES:

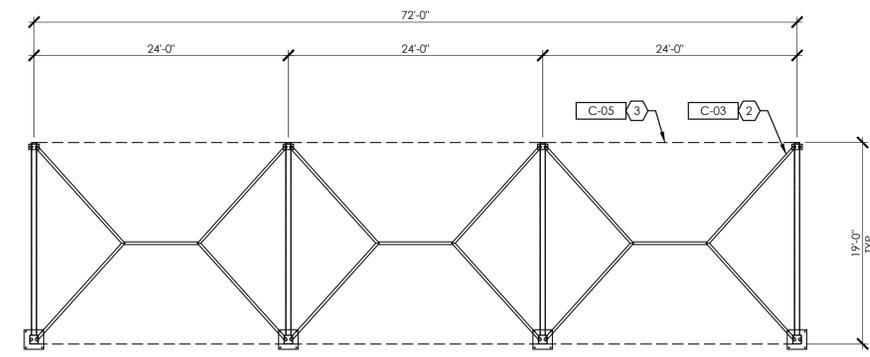
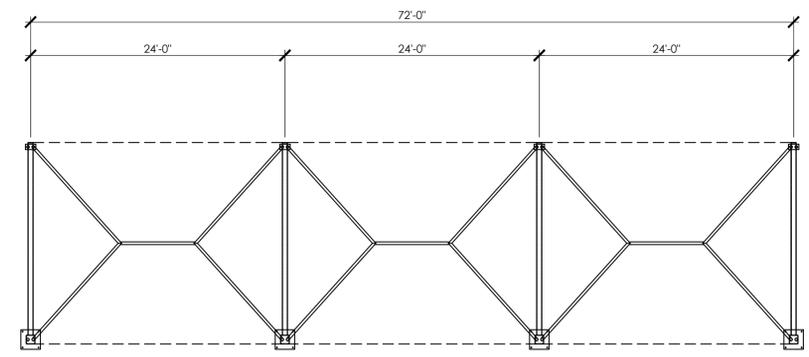
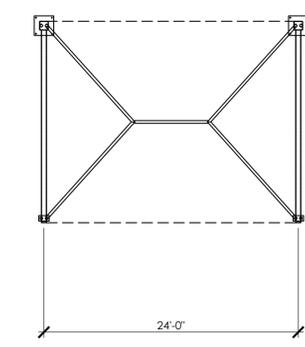
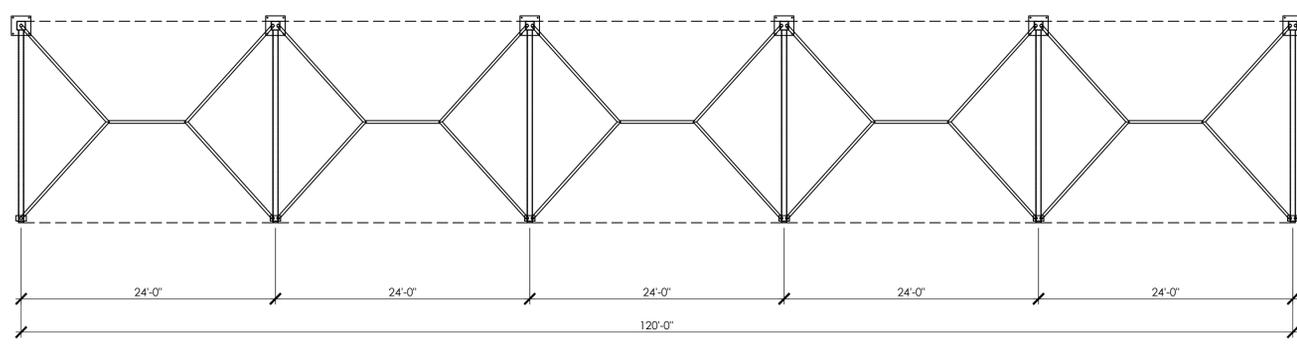
- 1. SIGNS ARE NOT PART OF THIS REVIEW.



A
AWNING SIDE VIEW (TYP.)
SCALE: 1/8"=1'-0"



B
AWNING FRONT VIEW (TYP.)
SCALE: 1/8"=1'-0"



1
AWNING FLOOR PLAN
SCALE: 1/8"=1'-0"